

Title	Planning Applications
To:	Planning Control Committee
On:	16 February 2016
By:	Development Manager
Status:	For Publication

Executive Summary

The attached reports present members with a description of various planning applications, the results of consultations, relevant policies, site history and issues involved.

My recommendations in each case are given in the attached reports.

This report has the following implications

Township Forum/ Ward: Identified in each case.

Policy: Identified in each case.

Resources: Not generally applicable.

Equality Act 2010: All planning applications are considered in light of the Equality Act 2010 and associated Public Sector Equality Duty, where the Council is required to have due regard for:
The elimination of discrimination, harassment and victimisation;
The advancement of equality of opportunity between persons who share a relevant protected characteristic and person who do not share it;
The fostering of good relations between persons who share a relevant protected characteristic and person who do not share it; which applies to people from the protected equality groups.

Human Rights: All planning applications are considered against the provisions of the Human Rights Act 1998.

Under Article 6 the applicants (and those third parties who have made representations) have the right to a fair hearing and to this end full consideration will be given to their comments.

Article 8 and Protocol 1 of the First Article confer a right to respect private and family life and a right to the protection of property, ie peaceful enjoyment of one's possessions which could include a person's home, and other land and business assets.

In taking account of the Council policy as set out in the Bury Unitary Development Plan 1997 and all material planning considerations, I have concluded on balance that the rights conferred upon the applicant/ objectors/ residents/ other interested party by Article 8 and Article 1 of the First Protocol may be interfered with, since such interference is in accordance with the law and is justified in the public interest. Any restriction of these rights posed by refusal/ approval of the application is legitimate since it is proportionate to the wider benefits of such a decision, is based

upon the merits of the proposal, and falls within the margin of discretion afforded to the Council under the Town & Country Planning Acts.

Development Manager

Background Documents

1. The planning application forms and plans submitted therewith.
2. Certificates relating to the ownership.
3. Letters and Documents from objectors or other interested parties.
4. Responses from Consultees.

FOR FURTHER INFORMATION ON THE CONTENTS OF EACH REPORT PLEASE CONTACT INDIVIDUAL CASE OFFICERS IDENTIFIED IN EACH CASE.

01	Township Forum - Ward: Bury East	App No. 59428
	Location: 1 The Rock, Bury, BL9 0JP	
	Proposal: Change of use of 1st/2nd/3rd floors from commercial (Class A2) to 5 no. flats; Repairs and refurbishment of external elevations and windows.	
	Recommendation: Approve with Conditions	Site Visit: N
<hr/>		
02	Township Forum - Ward: Bury East	App No. 59429
	Location: 1 The Rock, Bury, BL9 0JP	
	Proposal: Listed building consent for change of use of 1st/2nd/3rd floors from commercial (Class A2) to 5 no. flats, refurbishment of external elevations and windows, associated internal works.	
	Recommendation: Approve with Conditions	Site Visit: N
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03	Township Forum - Ward: Prestwich - Holyrood	App No. 59509
	Location: Land at rear of 7-11 Carisbrook Avenue, Whitefield, Manchester, M45 6UP	
	Proposal: Erection of 1 no. bungalow	
	Recommendation: Approve with Conditions	Site Visit: N
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04	Township Forum - Ward: Bury East - Moorside	App No. 59581
	Location: Burrswood House, Newton Street, Bury, BL9 5HB	
	Proposal: Proposed extension to enclose lift (revised scheme)	
	Recommendation: Approve with Conditions	Site Visit: N
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05	Township Forum - Ward: Radcliffe - East	App No. 59600
	Location: Site of Civic Centre, Thomas Street/New Church Street, Radcliffe, M26 2UD	
	Proposal: Demolition of existing Civic Centre and erection of 40 no. dwellings with associated car parking and landscaping	
	Recommendation: Minded to Approve	Site Visit: Y
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Ward: Bury East

Item 01

Applicant: Mr Andy Yu

Location: 1 The Rock, Bury, BL9 0JP

Proposal: Change of use of 1st/2nd/3rd floors from commercial (Class A2) to 5 no. flats; Repairs and refurbishment of external elevations and windows.

Application Ref: 59428/Full

Target Date: 06/01/2016

Recommendation: Approve with Conditions

Description

The application relates to a Grade II Listed Building circa 1874, which is located within the Bury Town Centre Conservation Area. The building is a 4 storey red brick build, with distinctive mock timber framing. It is characterised by floor to ceiling window openings of varying designs to each floor - straight headers at ground floor, obtusely pointed headers at first floor, pointed headers to the second and multi mullioned lights on the top floor. The building also boasts stained glass and oriel windows and an elaborately designed side entrance incorporating a dated coat of arms.

The building is located on a corner plot and forms the first of a row of premises in a main shopping area (UDP Policy S1/1) which are in retail or commercial uses. To the west across a cobbled side access street is St Mary's Church, also a Grade II Listed Building. At the rear are the gardens to the rectory which are separated from the site by the back access alley and a stone wall.

At the ground floor, the premises operate as a Class A2 business, with the upper floors vacant but previously used as offices.

The application seeks the conversion of the first, second and third floors to residential, to create a total of 5 flats, which would comprise of 2 x 1 bed flats on the first and second floors and 1 x 3 bed flat on the third floor. There is also a basement area and this would be rendered waterproof and replacement concrete floor, to be used for storage purposes.

The ground floor would remain in the existing commercial use.

It is also proposed to carry out some external alterations, which include repair and refurbishment of the windows on the rear, front and side elevations, to include secondary glazing; refurbishment of the external elevations including roof lead works; replacement of roof slates, brickwork repairs and timber fenestrations repairs.

Internally, there is a secondary rear staircase which is now unsafe, previously used as a means of escape, and no longer required (replaced by alternative provision of escape windows) which would be removed and a floor built across the opening. At third floor level, the ceilings extend into the roof space and it proposed to create a false ceiling in the bedroom only.

Relevant Planning History

59429 - Listed building for consent for change of use of 1st/2nd/3rd floors from commercial (Class A2) to 5 no. flats, replacement windows at rear and refurbishment of external elevations - concurrent application.

Publicity

23 letters sent on 11/11/15 to properties at Nos 3-21 (odds) The Rock, 10-30 (evens) The

Rock, St Mary's Church c/o The Rectory Tithebarn Street, 9 Union Street, 2A Crompton Street.

Site notice posted 2/12/2015.

Press advert in the Bury Times 19/11/2015.

Parochial Church Council of Bury Parish Church which raises the following issues:

- There is no dedicated parking to serve these flats;
- The small service road to the rear of the building is needed for access by the shops that front on to the Rock;
- Particular concern is that the nearest available hardstanding is the space around the Parish Church which is not available for public parking, and necessary for our use. The development runs the risk of increasing unauthorised parking and make our policing of the area far more difficult;
- Most of the windows to the flats that are to be created look over the rectory lawn which would infringe on the privacy of the occupants of the rectory and give the flat occupants a vantage point from which to view the almost daily use by children's groups. What assurances can be given that any future tenant would present no risk to such children?

The objector has been informed of the Planning Control Committee meeting.

Consultations

Traffic Section - No objection.

Drainage Section - No comments to make.

Environmental Health Contaminated Land - No comments to make

Environmental Health - Commercial Section - No objection subject to a condition to soundproof between the flats.

Waste Management - Recommend a review of collection arrangements when the flats are occupied.

Unitary Development Plan and Policies

Area	Central Shopping Area
BY6	
S1/1	Shopping in Bury Town Centre
S2/3	Secondary Shopping Areas and Frontages
EN2/1	Character of Conservation Areas
EN2/2	Conservation Area Control
EN2/3	Listed Buildings
EN1/2	Townscape and Built Design
HT2/4	Car Parking and New Development
H1/2	Further Housing Development
H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
H2/4	Conversions
EN7/2	Noise Pollution
NPPF	National Planning Policy Framework
TC2/1	Upper Floors

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Policies - Chapter 2 of the NPPF- Ensuring the vitality of town centres, recognises town centres as the heart of communities and supports proposals to ensure their vitality and

viability. It advocates a mix of uses are important to meet the needs and functions of a town centre, which includes residential uses.

Bury UDP Policies S1/1 - Shopping in Bury Town centres and S2/3 - Secondary Shopping Areas and Frontages seeks to encourage and enhance the vitality and viability of the town centre and to maintain and provide display a mix of commercial uses, and maintaining a display or open ground floor frontage.

Policy TC2/1 - Upper Floors - Proposals will be supported which bring underused and vacant space on upper floors of premises into beneficial use, and a range of uses such as offices and living accommodation will be encouraged which will contribute to the overall vitality of town centres and help to retain and improve their liveliness and attractiveness. Utilisation of this type of accommodation will also result in proper maintenance and repair of the building fabric, which is particularly important in conservation areas and for individual listed buildings.

Policy H1/2 states that the Council will have regard to various factors when assessing a proposal for residential development, including whether the proposal is within the urban area, the availability of infrastructure and the suitability of the site, with regard to amenity, the nature of the local environment and the surrounding land uses.

UDP Policies H2/1 - The Form of New Residential Development and H2/2 - The Layout of New Residential Development takes into consideration factors relating to the height and roof type of adjacent buildings, the impact of developments on residential amenity, the density and character of the surrounding area and the position and proximity of neighbouring properties. Regard is also given to parking provision and access, landscaping and protection of trees/hedgerows and external areas.

UDP Policy H2/4 - Conversions and Supplementary Planning Document 15 - Residential Conversions recognises that applications for conversions can often make an important contribution to the local housing stock, and often the best way to utilise vacant or underused space. Regard will be had to the following factors which include the effect on amenity of the neighbouring property through noise, visual intrusion, position of entrances, impact of parking areas, extensions and fire escapes; general character of the area; amenity of occupants; effect on the street scene of any external alterations; car parking and servicing requirements.

The NPPF and Bury UDP Policies EN2/1, EN2/2 and EN2/3 Conservation policies, seek to support development for the reuse of derelict or vacant buildings, including Listed Buildings, providing it would continue preserve and enhance areas of special character and buildings of historic importance.

EN2/1 - Character of Conservation Areas and EN2/2 - Conservation Area Control policies only support proposals where it can be demonstrated that development would preserve or enhance the special character of the area. The re-use of buildings within Conservation Areas will be encouraged, particularly at upper floor level, with regard had to any likely impact on the character of the immediate area and any need for alterations to the fabric of the building.

EN2/3 - Listed Buildings - The Council will actively safeguard the character and setting of Listed Buildings by not permitting works, alterations or changes of use which would have a detrimental effect on their historical or architectural character and features. Consideration will be given to the impact of the proposal on the historic fabric of the building. New uses are often the key for preservation for buildings, especially for buildings which have become wholly or partly redundant. However, new uses must not adversely affect the architectural or historic features and character of such buildings.

Principle - Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires that in considering whether to grant planning permission for development which

affects a listed building or its setting, the local planning authority shall have special regard to the desirability of preserving the building or its setting, or any features of special architectural or historic interest which it possesses.

In addition, Paragraph 131 of the NPPF states that when determining applications for heritage assets, local planning authorities should take account of:

- the desirability of sustaining and enhancing the significance of the heritage assets and putting them to viable uses consistent with their conservation;
- the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and
- the desirability of new development making a positive contribution to local character and distinctiveness.

Paragraph 132 of the NPPF states that when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation. The more important the asset, the greater the weight should be. Significance can be harmed or lost through alteration or destruction of the heritage asset or development within its setting. As heritage assets are irreplaceable, any harm or loss should require clear and convincing justification.

The proposal would redevelop the upper floors of a vacant, run down and poorly maintained building and would support the regeneration of a Listed Building and the area in general. The proposed re-use of the building would result in maintenance and repair works to secure the longevity and continued contribution of the building and its use to the vitality and viability of the town. The building is within a highly sustainable location, with existing infrastructure in place to support the scale of the development and would also contribute to meeting local housing needs in the Borough.

The ground floor would remain in commercial use and therefore continue to contribute to the shopping role of the town centre.

As such, the principle of the change of use would be in general accordance with national and local planning policy and would be in compliance with the NPPF and Bury UDP.

Layout - The entrance to the flats would be via the existing double door on the side elevation of the building, which would lead into a communal hallway and staircase to the upper floors. At first and second floors, there would be 2 x 1 bedroom flats, with the third floor utilising the whole floor area to provide a 3 bedroom apartment.

Studded walls would be added internally to partition off areas of the units to create usable living accommodation, and secondary glazing added internally to insulate the building.

There is no outdoor amenity space with the property apart from a small yard area which accommodates the bin store. This is not an unusual arrangement for town centre locations, where there are public open spaces in the near vicinity.

Similarly there is no dedicated parking for the premises. Being within a highly sustainable town centre location within walking distance to shops and services and public transport, this is considered to be acceptable.

The proposed scheme demonstrates that the building would be capable of being converted and provide an acceptable amount of space and accommodation for residential purposes, and as such, would comply with UDP Policies H2/1 - The Form of New Residential Development and H2/2 - The Layout of New Residential Development.

Design and appearance - The external appearance of the building would not intrinsically alter, with necessary repairs being carried out to refurbish existing rotting window frames, repair timber fenestrations, roof tiles and brick walling.

General maintenance and cleaning of the outside of the building would significantly improve its visual appearance in the locality. There would be no alterations to entrances or doorways than existing. Details of all the internal and external alterations would be sought on the concurrent Listed Building application.

The proposed external alterations would enable the building to be brought back into a usable state, with the added benefit of improving the overall appearance. The character of the building would be retained, and as such is considered to comply with UDP Policies EN1/2, EN2/1, EN2/2 and EN2/3.

Residential amenity - The premises are located on the edge of a pedestrianised part of the town centre, broadly characterised by a mix of shops, which tend to open during the daytime. Further to the west is what is known as the Cultural Quarter of the borough, more characterised by bars, restaurants and pubs.

Being located within a town centre, residential occupiers of town centre accommodation should expect a certain amount of noise and activity in the evenings and at night time. There are other residential units which are located above commercial premises in the town centre, and this would be no different in terms of the character of the development.

The Pollution Control Section have not objected to the application, but in the interests of residential amenity, have recommended a condition that soundproofing be incorporated as part of the refurbishment scheme to protect both the occupants of the commercial development at ground floor and flats above. It is also recommended conditions be included to provide soundproofing to windows as well as submission of a ventilation scheme to enable windows to remain closed to afford occupiers protection from potential external noises late at night.

In terms of impact on adjacent occupiers, there is a church to the west, the grounds of which could be viewed from the windows on the side and rear elevations. The objector has raised the concern that this would cause overlooking and effect the privacy of those using this external area, and especially the toddler and children's groups who meet at the church and use this outside space.

The windows of the property already face and overlook these areas, and as such the situation would be no different or worse in terms of impact on the amenity of this area from any use of the internal space.

The proposals therefore are considered to comply with UDP Policies H2/1 and EN1/2.

Parking - Running through the NPPF is the principle of sustainable development, and this includes promoting and encouraging the use of public transport.

There is currently no allocated parking for the building or its existing uses and none is proposed as part of the application.

The site is located within the town centre and in a highly sustainable location, within easy walking distance of shops, eateries and entertainment and the central bus and Metro Link. It is also generally expected that town centre living would not necessarily or automatically provide parking, and any future occupiers would be aware of this fact before taking up residence.

The Highway's Section have raised no objection to the proposed scheme and as such the development is considered to comply with the NPPF.

Access - There is an existing stepped access through the main entrance on the side elevation, with a staircase to the upper floors. The internal arrangements are historically established, and it would not be reasonable or achievable for the scheme to be fully accessible of DDA compliant. Future occupiers would also be aware of the physical

restrictions of the building. As such, the existing access situation is considered to be acceptable in this particular instance.

Bin store - There is a small enclosed yard area to the rear of the property which is to be retained as a bin store.

The waste management team have not raised an objection in principle, but indicate that the yard may not be a big enough area to provide the full suite of bins required for the waste and recycling needs of a mixed development. It has been recommended that waste collection arrangements are reviewed once the flats have been occupied, and an informative to the applicant would be included as part of an approval.

Response to objector -

- The existing service road would continue to be available for use by the other adjacent premises. Any grant of planning permission would not change this situation.
- Parking on private property is not a material planning consideration and would be a matter to be resolved between the parties involved.
- Parking arrangements and issues of privacy and overlooking have been covered in the above report.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered 001 3rd floor; 002 2nd floor; 003 1st floor; 004 ground floor; 005 Basement; 006 Sections viewed from the Rock; 013 Block plan; 014 Revision A Existing fenestration; 016 Proposed internal wall connections; Design and Access Statement 19th January 2016 and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. No development shall take place unless and until a scheme to soundproof the floors, walls and ceiling between each flat and soundproof the external windows has been submitted to and approved by the Local Planning Authority. The levels of acoustic insulation to be provided shall be, as a minimum, those deemed to be acceptable and specified as standards of construction in current Building Regulations. Such works that form the approved scheme shall be completed before the development is brought into use, and thereafter maintained.
Reason. To ensure that the development is adequately soundproofed against Internally and externally generated noise in the interests of the amenity of future

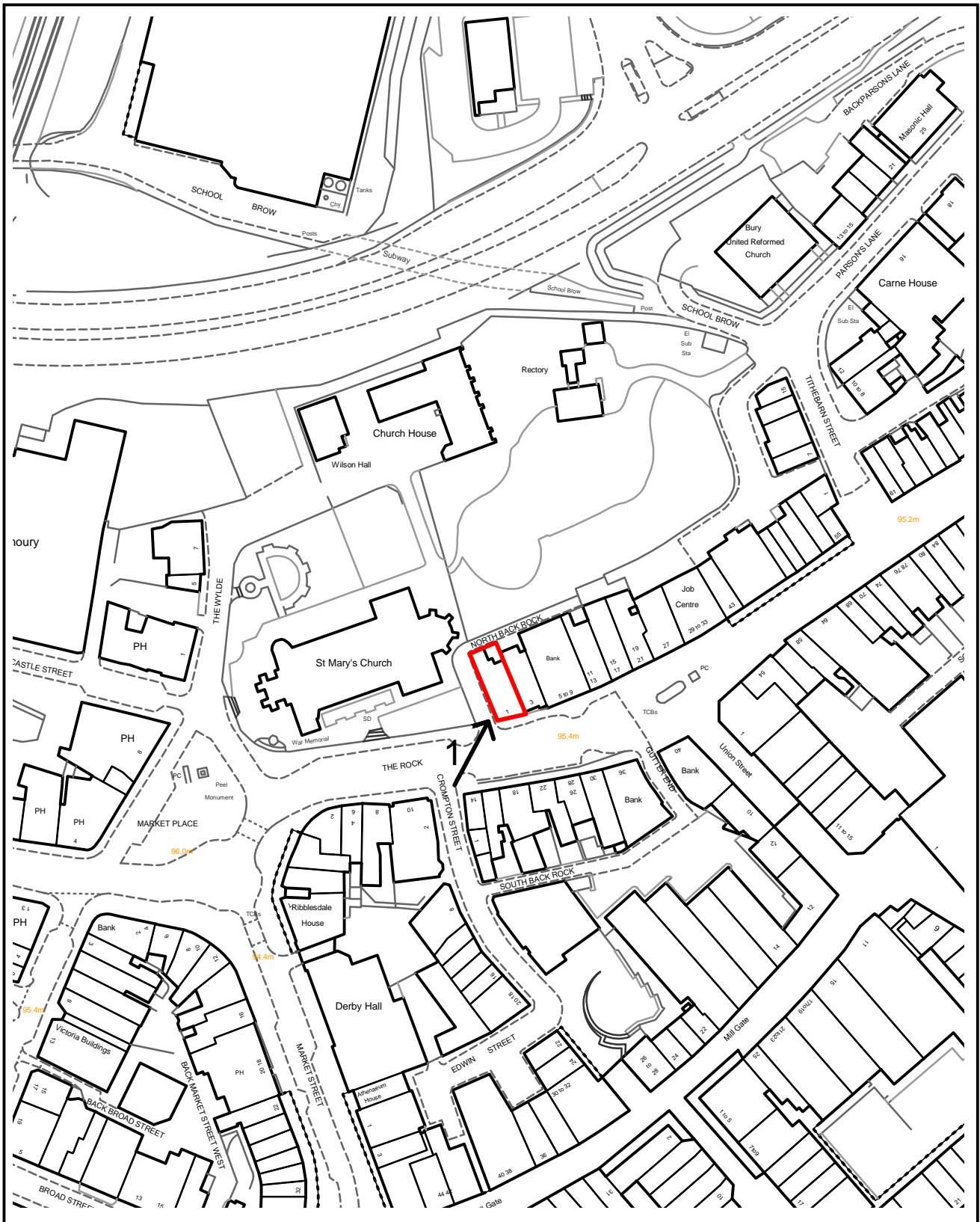
occupiers of the development pursuant to Bury Unitary Development Plan Policies EN7/2 - Noise Pollution and EN1/2 - Townscape and Built Design.

4. Prior to first occupation of each of the flats hereby approved, an independent ventilation system to allow the windows of all habitable rooms to remain closed, shall be installed. The system shall comply with the requirements of the 2010 edition of Building Regulations Approved Document F. the relevant requirements are contained in Regulation F1 Table 5.2b Passive Stack Ventilation (PSV) or alternatively Table 5.2c Continuous mechanical extract (MEV). The system shall be thereafter be maintained.

Reason. To ensure that the development is adequately soundproofed against externally generated noise in the interests of the amenity of future occupiers of the development pursuant to Bury Unitary Development Plan Policies EN7/2 - Noise Pollution and EN1/2 - Townscape and Built Design.

For further information on the application please contact **Jennie Townsend** on **0161 253-5320**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 59428

**ADDRESS: 1 The Rock
Bury**



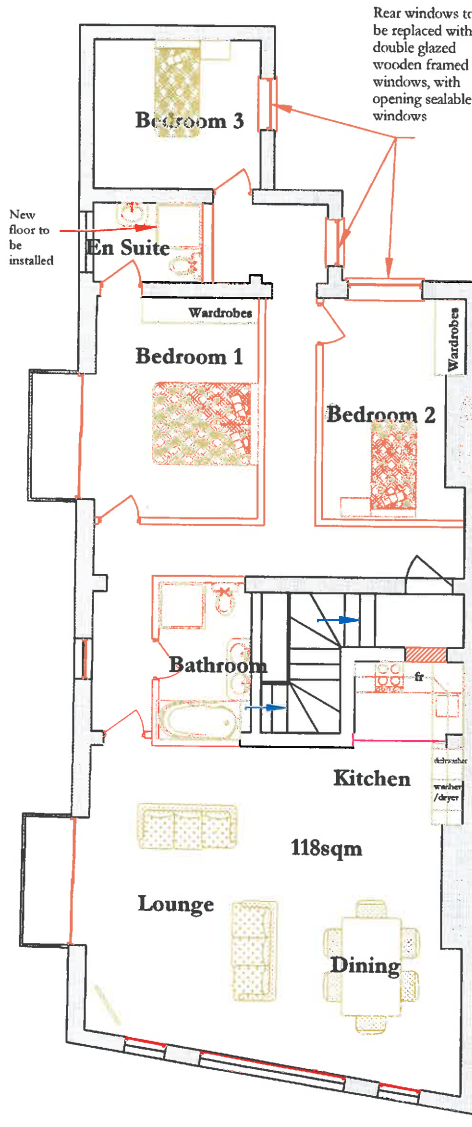
Planning, Environmental and Regulatory Services

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59428

Photo 1





Existing external appearance to remain unchanged. Some of the windows are now rotten and need to be renewed but in the same style and timber. External timber to be repainted ensuring there is no change of colour. To comply with the current building regulation secondary glazing would be introduced as far back as possible from the existing window. Internally there would be no major structural changes apart from the removal of the rear staircase and the introduction of flooring in that area. New studded wall would separate the new rooms, the void between the plasterboard faces to be filled with sound deadening fibreglass quilt.

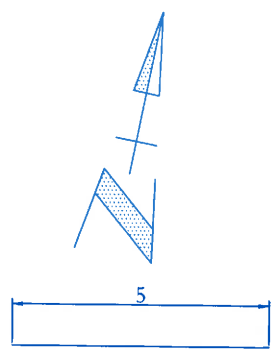
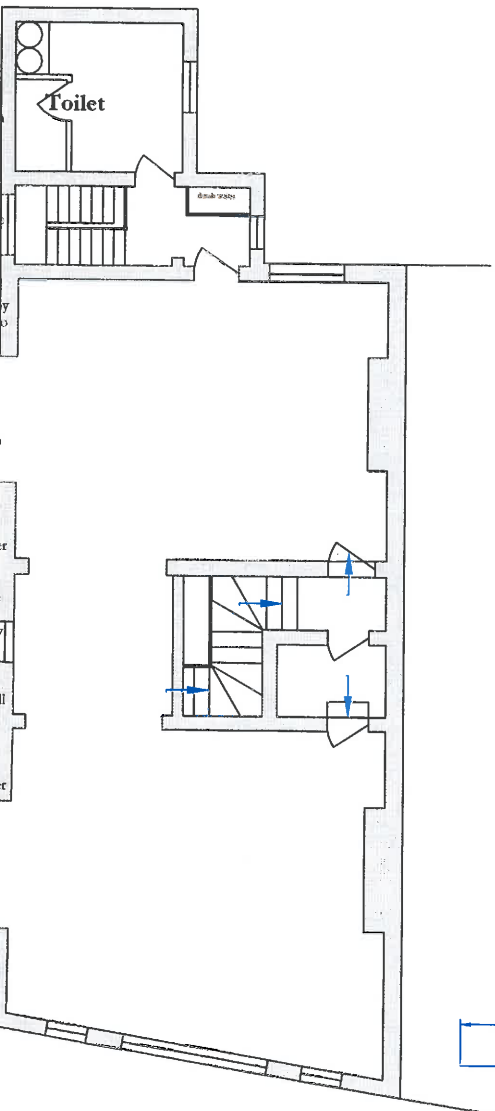
Existing SVP's etc to be used to remove all waste. The whole building would be checked by a competent person to determine what needs to be done to make the electrical services acceptable and in compliance with the current regulation. Test certificates are mandatory. Gas safe engineer to check the existing and proposed gas usage to determine where it is possible to use the existing supply, what air changes are required and the introduction of CO monitors.

The existing fire alarm system and emergency lighting to be amended by a competent person to comply with the new usage. Externally the roof needs some attention as there are a number of small leaks into the upper rooms. It is likely the lead may need to be renewed. Only the same materials that have been used in the past will be used to rectify the problem.

Existing chimneys would be examined and new liners installed to enable the chimneys to be used to extract/replenish the air within the flats as would be required under the current legislation. The existing doors onto the stairwell are already fire rated but would be upgraded to include the introduction of intumescent strips etc to comply with the current fire regulations. New fire extinguishers, blankets etc would be introduced after discussions with the fire officer. New anti bird fouling devices would be added to the external windows and stonework after the existing facades are removed.

The existing internal plasterwork (particularly the ceilings) are to be left unchanged but the external walls are to be studded out with a vapour barrier (Tyvek Supro) or similar and thermal plasterboard applied to ensure the current insulation levels are achieved.

Sound insulation tests would be carried out but it is thought that the floor in particular would achieve both the necessary fire requirements and the noise insulation levels.



Do Not Scale off Drawings
 All dimensions to be checked on site by Contractor prior to commencement of work.
 All dimensions shown are structural dimensions and do not take account of the finishes.
 Contractor to ensure that all services are made safe prior to commencement of work.
 Notes/comments on any drawing refer to all drawings.
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 If in doubt stop and ask

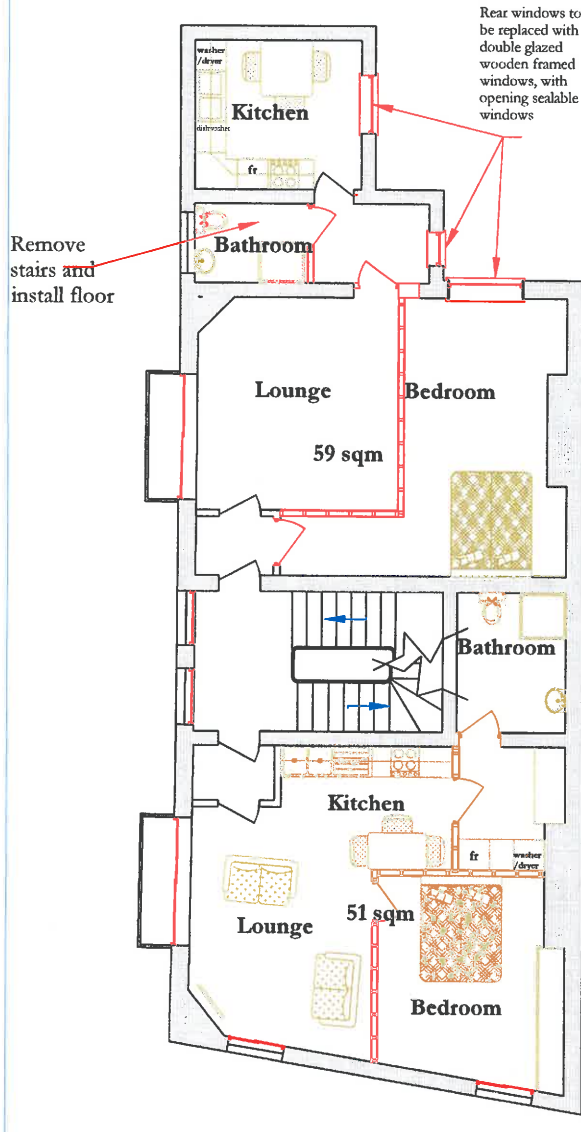
Balmer Design Services
 Architectural Services
 265 Lunts Heath Road, Widnes,
 Cheshire. WA8 5BB
 0151 420 3241
 Philbalmer@aol.com

Proposed Development of Existing
 Property to Flats on the Upper Floors
 Ground Floor Remaining Commercial
 Union Club
 1 The Rock
 Bury
 BL9 0JP

Scale 1:100 @A3
 Date Oct 2015

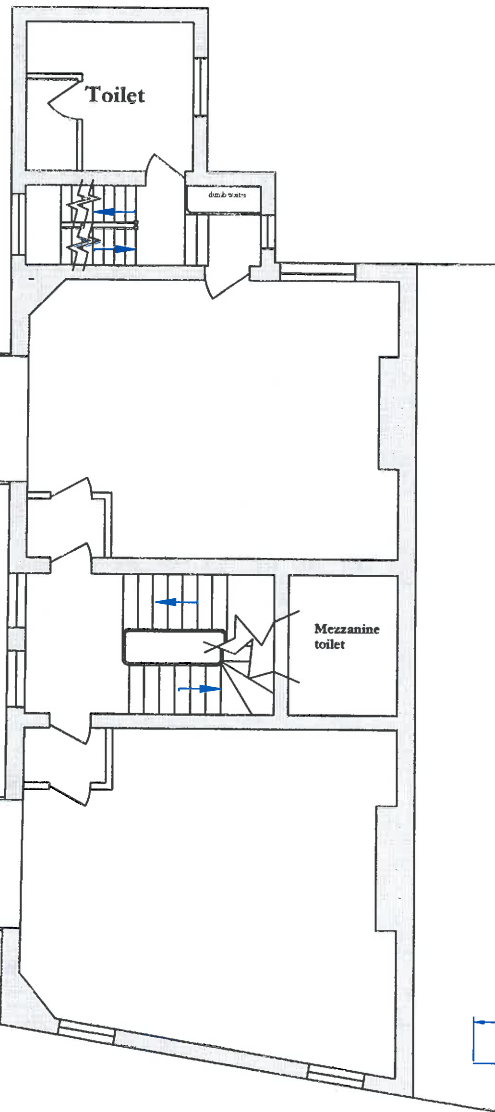
Drg Nr 001
 3rd Floor

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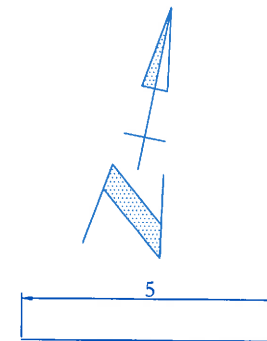


Proposed Second Floor

Existing external appearance to remain unchanged. Some of the windows are now rotten and need to be renewed but in the same style and timber. External timber to be re painted ensuring there is no change of colour. To comply with the current building regulation secondary glazing would be introduced as far back as possible from the existing window. Internally there would be no major structural changes apart from the removal of the rear staircase and the introduction of flooring in that area. New studded wall would separate the new rooms, the void between the plasterboard faces to be filled with sound deadening fibreglass quilt. Existing SVP's etc to be used to remove all waste. The whole building would be checked by a competent person to determine what needs to be done to make the electrical services acceptable and in compliance with the current regulation. Test certificates are mandatory. Gas safe engineer to check the existing and proposed gas usage to determine where it is possible to use the existing supply, what air changes are required and the introduction of CO monitors. The existing fire alarm system and emergency lighting to be amended by a competent person to comply with the new usage. Externally the roof needs some attention as there are a number of small leaks into the upper rooms. It is likely the lead may need to be renewed. Only the same materials that have been used in the past will be used to rectify the problem. Existing chimneys would be examined and new liners installed to enable the chimneys to be used to extract/replenish the air within the flats as would be required under the current legislation. The existing doors onto the stairwell are already fire rated but would be upgraded to include the introduction of intumescent strips etc to comply with the current fire regulations. New fire extinguishers, blankets etc would be introduced after discussions with the fire officer. New anti bird fouling devices would be added to the external windows and stonework after the existing faces are removed. The existing internal plasterwork (particularly the ceilings) are to be left unchanged but the external walls are to be studded out with a vapour barrier (Tyvek Supro) or similar and thermal plasterboard applied to ensure the current insulation levels are achieved. Sound insulation tests would be carried out but it is thought that the floor in particular would achieve both the necessary fire requirements and the noise insulation levels



Existing Second Floor

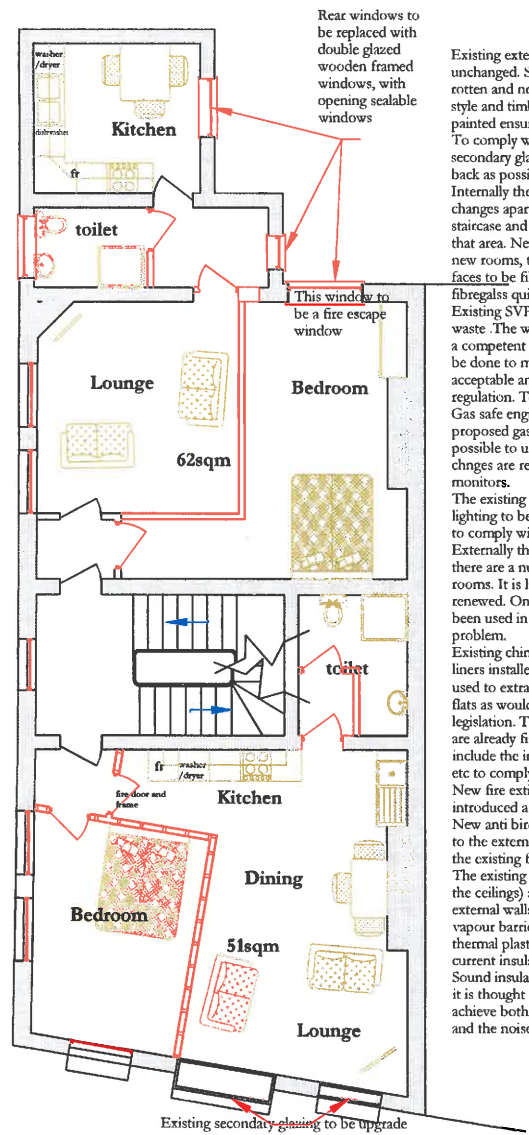


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**Proposed Development of Existing Property to Flats on the Upper Floors
 Ground Floor Remaining Commercial
 Union Club
 1 The Rock
 Bury
 BL9 0JP**

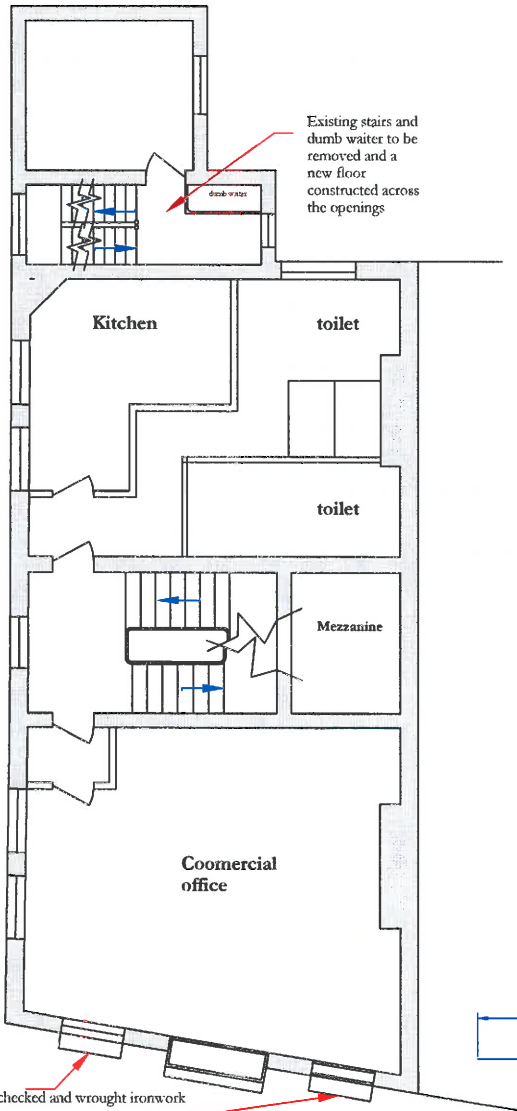
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**Drg Nr 002
 2nd Floor**

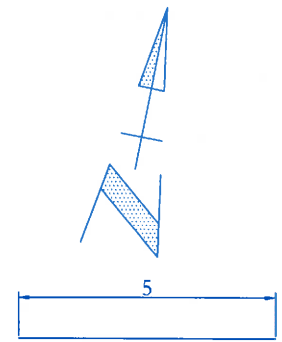


Proposed First Floor

Existing external appearance to remain unchanged. Some of the windows are now rotten and need to be renewed but in the same style and timber. External timber to be painted ensuring there is no change of colour. To comply with the current building regulation secondary glazing would be introduced as far back as possible from the existing window. Internally there would be no major structural changes apart from the removal of the rear staircase and the introduction of flooring in that area. New studded wall would separate the new rooms, the void between the plasterboard faces to be filled with sound deadening fibreglass quilt. Existing SVP's etc to be used to remove all waste. The whole building would be checked by a competent person to determine what needs to be done to make the electrical services acceptable and in compliance with the current regulation. Test certificates are mandatory. Gas safe engineer to check the existing and proposed gas usage to determine where it is possible to use the existing supply, what air changes are required and the introduction of CO monitors. The existing fire alarm system and emergency lighting to be amended by a competent person to comply with the new usage. Externally the roof needs some attention as there are a number of small leaks into the upper rooms. It is likely the lead may need to be renewed. Only the same materials that have been used in the past will be used to rectify the problem. Existing chimneys would be examined and new liners installed to enable the chimneys to be used to extract/replenish the air within the flats as would be required under the current legislation. The existing doors onto the stairwell are already fire rated but would be upgraded to include the introduction of intumescent strips etc to comply with the current fire regulations. New fire extinguishers, blankets etc would be introduced after discussions with the fire officer. New anti bird fouling devices would be added to the external windows and stonework after the existing faeces are removed. The existing internal plasterwork (particularly the ceilings) are to be left unchanged but the external walls are to be studded out with a vapour barrier (Tyvek Supro) or similar and thermal plasterboard applied to ensure the current insulation levels are achieved. Sound insulation tests would be carried out but it is thought that the floor in particular would achieve both the necessary fire requirements and the noise insulation levels



Existing First Floor



Do Not Scale off Drawings
 All dimensions to be checked on site by Contractor prior to commencement of work.
 All dimensions shown are structural dimensions and do not take account of the finishes
 Contractor to ensure that all services are made safe prior to commencement of work.
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 If in doubt stop and ask

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Proposed Development of Existing Property to Flats on the Upper Floors Ground Floor Remaining Commercial Union Club
 1 The Rock
 Bury
 BL9 0JP

Scale 1:100 @A3
 Date Oct 2015

Drg Nr 003
1st Floor

Ward: Bury East

Item 02

Applicant: Mr Andy Yu

Location: 1 The Rock, Bury, BL9 0JP

Proposal: Listed building consent for change of use of 1st/2nd/3rd floors from commercial (Class A2) to 5 no. flats, refurbishment of external elevations and windows, associated internal works.

Application Ref: 59429/Listed Building Consent

Target Date: 06/01/2016

Recommendation: Approve with Conditions

Description

The application relates to a Grade II Listed Building circa 1874, which is located within the Bury Town Centre Conservation Area. The building is a 4 storey red brick build, with distinctive mock timbering. The listing states that the building is also characterised by floor to ceiling window openings of varying designs to each floor - the straight headers at ground floor, obtusely pointed header at first floor, pointed headers to the second and multi mullioned lights on the top floor. The building also boasts stained glass and oriel windows and an elaborately designed side entrance incorporating a dated coat of arms. Internally, there are original features including fireplaces, picture rails, mouldings and skirtings.

The building is located on a corner plot and forms the first of a row of premises which are all in retail or commercial uses. To the west across a side cobbled access road to the rear of the property is St Mary's Church, also a Grade II Listed Building. At the rear are the gardens to the rectory which are separated from the site by the back access alley and a stone wall.

At the ground floor, the premises operate as a Class A2 business, with the upper floors vacant but previously used as offices.

The application seeks Listed Building Consent for the conversion of the first, second and third floors to residential, to create a total of 5 flats, which would comprise of 2 x 1 bed flats on the first and second floors and 1 x 3 bed flat on the third floor. There is also a basement area and this would be rendered waterproof and the floor replaced, to be used for storage purposes.

The ground floor would remain in the existing commercial use.

External and internal alterations are also proposed, and comprise the following:

- Repairs and repainting to the window frames, internally and externally.
- Secondary glazing (internally).
- Insertion of partition walls.
- Insertion of a false ceiling to the third floor bedroom ceiling only. It would be fitted 3.6m above the floor at the picture rail level. Insulation would be laid over the top.
- Repairs to external brickwork on the rear elevation.

- Repairs to the timber work on the front and side elevations.
- Removal of the secondary staircase and floor rebuilt and made good.

Relevant Planning History

59428 - Change of use of 1st/2nd/3rd floors from commercial (Class A2) to 5 no. flats, replacement windows at rear and refurbishment of external elevations - concurrent application.

Publicity

23 letters sent on 11/11/15 to properties at Nos 3-21 (odds) The Rock, 10-30 (evens) The Rock, St Mary's Church c/o The Rectory Tithebarn Street, 9 Union Street, 2A Crompton Street.

Site notice posted 2/12/2015.

Press advert in the Bury Times 19/11/2015.

No response received to this application as a result of the publicity. Objection received to the associated planning application reference 59428.

Consultations

Ancient Monuments Society
 The Georgian Group
 Society for the Protection of Ancient Buildings
 The 20th Century Society
 The Victorian Society (London)
 Council for British Archaeology
 Historic England

No responses received.

Unitary Development Plan and Policies

Area	Central Shopping Area
BY6	
S1/1	Shopping in Bury Town Centre
S2/3	Secondary Shopping Areas and Frontages
EN2/1	Character of Conservation Areas
EN2/2	Conservation Area Control
EN2/3	Listed Buildings
TC2/1	Upper Floors
NPPF	National Planning Policy Framework

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Policies - The NPPF advocates positive strategies for the conservation and enjoyment of the historic environment. Paragraphs 131, 132 and 133 are particularly relevant, citing that local planning authorities should take account of:

- the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;
- the positive contribution that heritage assets can make to sustainable communities including their economic vitality; and

- the desirability of new development making a positive contribution to local character and distinctiveness.

Chapter 2 of the NPPF - Ensuring the vitality of town centres, recognises town centres as the heart of communities and supports proposals to ensure their vitality and viability. It advocates a mix of uses are important to meet the needs and functions of a town centre, which includes residential.

EN2/1 - Character of Conservation Areas and EN2/2 - Conservation Area Control policies only support proposals where it can be demonstrated that development would preserve or enhance the special character of the area. The re-use of buildings within Conservation Areas will be encouraged, particularly at upper floor level, with regard had to any likely impact on the character of the immediate area and any need for alterations to the fabric of the building.

EN2/3 - Listed Buildings - The Council will actively safeguard the character and setting of Listed Buildings by not permitting works, alterations or changes of use which would have a detrimental effect on their historical or architectural character and features. Consideration will be given to the impact of the proposal on the historic fabric of the building. New uses are often the key for preservation for buildings, especially for buildings which have become wholly or partly redundant. However, new uses must not adversely affect the architectural or historic features and character of such buildings.

Policy TC2/1 - Upper Floors - Proposals will be supported which bring underused and vacant space on upper floors of premises into beneficial use, and a range of uses such as offices and living accommodation will be encouraged which will contribute to the overall vitality of town centres and help to retain and improve their liveliness and attractiveness. Utilisation of this type of accommodation will also result in proper maintenance and repair of the building fabric, which is particularly important in conservation areas and for individual listed buildings.

Principle - Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires that in considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority shall have special regard to the desirability of preserving the building or its setting, or any features of special architectural or historic interest which it possesses.

In addition, Paragraph 131 of the NPPF states that when determining applications for heritage assets, local planning authorities should take account of:

- the desirability of sustaining and enhancing the significance of the heritage assets and putting them to viable uses consistent with their conservation;
- the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and
- the desirability of new development making a positive contribution to local character and distinctiveness.

Paragraph 132 of the NPPF states that when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation. The more important the asset, the greater the weight should be. Significance can be harmed or lost through alteration or destruction of the heritage asset or development within its setting. As heritage assets are irreplaceable, any harm or loss should require clear and convincing justification.

The proposed change of use would not only bring back into use vacant floorspace premises in a Conservation and town centre location, but would also regenerate and make use of an important historic asset, which may otherwise remain vacant and be subject to further deterioration and degeneration. The proposals would also facilitate maintenance and repair works to be carried out to the building to secure its longevity and continued contribution as a national heritage.

The proposed residential development is considered to be a viable use for the premises and subject to the physical alterations to the building which would be required to facilitate the conversion, it is considered to be acceptable in principle and comply with UDP Policies EN2/1, EN2/2, EN2/3, TC2/1 and the NPPF.

Proposed works - The Listing focuses on the importance of the front and side facades, citing the mock timbering, bays, window openings and entrance carvings as being of important architectural features.

In terms of the proposals for the building's exterior, the works would primarily involve repairs to the timber work on the front and side elevations, and to the brickwork on the rear elevation. It is considered this would enhance the external facade of the building and ensure its continued preservation for the future.

There are also some interesting and important features internally, including fireplaces, high ceilings and some intricate design works to the walls and picture rails. The proposed internal works are discussed further in the report.

Windows - The windows on the front and side elevations are particularly impressive, being floor to ceiling height and illustrating a mix of straight and curved frames and headers, with individual detailing. They are distinctive features of the building and contribute to the special architectural character of the building.

At the rear, the frames are less remarkable in terms of their design and features, but whilst not mentioned as part of the listing, are of no lesser importance to the building's heritage asset.

Many of the frames have suffered from neglect and become rotten over time; have been painted over on a number of occasions and no longer open or close properly. Repairs would be carried out to replace parts of the timber frames, which are not only required to comply with Building Regulations, but would also ensure they could be retained and preserved for the future without the need to replace them.

The application also seeks to insert secondary glazing. The applicant has put forward two options, the first being to fit the glazing against the frames, which would be a more permanent solution, or set the glazing back from the existing windows. The latter would seek a less permanent approach, removable in the future, and would have an intrinsically lesser impact on the fabric of the building. When viewed from the outside, the additions would be less visually perceivable and unobtrusive. In principle, this is considered to be acceptable. As no detail has been provided at this stage, it would be sought by a condition.

Insertion of false ceiling - Older buildings, unless continually maintained, tend to be very poorly insulated, and often prove difficult and expensive to heat, making them a less attractive building to occupy. One of the characteristics of the rooms are the high ceilings, particularly on the 3rd floor where they extend into the roof space. It is proposed to insert a false ceiling in the 3rd floor bedroom, which would provide the necessary insulation to comply with building regulations. The partition would be fixed approximately 3.6m from the floor, above the height of the picture rail. Its insertion would cover the beams from view but would be reversible with no long term impact. Being of a temporary nature, it would not damage the character or structure of the building, and therefore it is considered the character would be preserved.

Room separation - The majority of the rooms would be retained as existing, but there would be a need to split off areas to create the living accommodation. This would involve the erection of partitions, consisting of studded walls, and use a shadow gap to acknowledge the modern intervention, which again could be removable at a later stage. As such, this aspect is considered to be acceptable.

Removal of staircase - There is a secondary staircase which historically provided a means

of escape. The staircase is proposed for removal, not being needed or up to required standards for the residential scheme. They have no particular value in terms of adding any architectural quality or character to the building, and as such this aspect is considered to be acceptable.

Original features such as the fireplaces, doorways and picture rails would all be retained, which would continue to preserve the historic character of the building.

The alterations would enable the building to be brought up to an acceptable standard to facilitate its realistic re-use. The insertions and additions of partitions and glazing are of a temporary nature and could be reversed at any time in the future, with little impact on the historic fabric and character of the building.

It is considered the scope of the proposed alterations and refurbishments would result in appropriate treatments to maintain and repair the fabric of the building and would bring back into use an important asset within the town centre.

Conclusion - By supporting this scheme and seeking further information, the development would bring a scheme of works that would both preserve and enhance the character and appearance of the Conservation Area and Listed Building.

The proposals secure the long term future of the building, and with the implementation of the details secured, such as shadow gaps and careful fitting of the false ceiling, these reversible works would preserve the Listed Building.

As such, the proposals are considered to be acceptable and would both preserve and enhance the character of the Conservation Area and safeguard the future of a historic asset, and therefore comply with EN1/1 - Visual amenity, EN2/1 - Character of Conservation Areas, EN2/2 - Conservation Area Control and EN2/3 - Listed Buildings.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than the expiration of three years beginning with the date of this permission.
Reason - Required to be imposed pursuant to Section 18 of the Planning (Listed Buildings and Conservation Areas) Act 1990.
2. This decision relates to drawings numbered 001 3rd floor; 002 2nd floor; 003 1st floor; 004 ground floor; 005 Basement; 006 Sections viewed from the Rock; 013 Block plan; 014 Revision A Existing fenestration; 016 Proposed internal wall connections; Design and Access Statement 19th January 2016; Schedule of Works dated and agreed 27th January 2016, and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.

3. Prior to commencement of works, a notice of intent to start the works hereby approved, including a timetable and details of the schedule of the works, shall be submitted to and approved in writing by the Local Planning Authority. The works shall be carried out in accordance with the approved timetabled schedule.
Reason - To ensure that the development is carried out in accordance with the approved plans, to protect the fabric of a listed structure/building during implementation and pursuant to Policy EN2/3 – Listed Buildings of the Bury Unitary Development Plan.
4. No development shall commence unless and until details of the secondary glazing, including the materials and fixing methods together with a timetable of the works, have been submitted to and approved by the Local Planning Authority. The approved details only shall be implemented.
Reason. Details not submitted at application to ensure protection of the character and fabric of the Listed Building, pursuant to Policy EN2/3 - Listed Buildings of the Bury Unitary Development Plan.
5. No development shall commence unless and until details of the false ceiling to be fitted in the third floor bedroom, including fixing method and materials, have been submitted to and approved by the Local Planning Authority. the approved details only shall be implemented to an approved timetable.
Reason. Details not submitted at application to ensure protection of the character and fabric of the Listed Building, pursuant to Policy EN2/3 - Listed Buildings of the Bury Unitary Development Plan.

For further information on the application please contact **Jennie Townsend** on **0161 253-5320**

Ward: Prestwich - Holyrood

Item 03

Applicant: Ms Katy Moghimi

Location: Land at rear of 7-11 Carisbrook Avenue, Whitefield, Manchester, M45 6UP

Proposal: Erection of 1 no. bungalow

Application Ref: 59509/Full

Target Date: 26/01/2016

Recommendation: Approve with Conditions

Description

The application site relates to a vacant backland plot which is located in the middle of an established residential estate. The site is overgrown with vegetation and trees and is bound by timber fencing, which forms the rear boundaries of the houses surrounding the site. There is an existing access into the site between Nos 9-11 Carisbrook Avenue, which runs the length of these 2 properties and opens out into the wider site area.

The land is relatively level, sloping gently towards the rear of the site. The houses to the east, south and west are at a similar level as the site, with the properties on Tamworth Avenue to the north, sited at a lower level by approximately one storey. The housing stock in the area is predominantly characterised by 2 storey red brick built semi detached dwellings.

The application seeks the erection of 1 No. 3 bedroomed bungalow. It would be positioned more or less centrally within the plot and orientated to face northwards. The existing access would be utilised and lead to a turning area and hardstanding for the parking of 2 cars. The southern part of the site would provide garden amenity space.

The dwelling proposes a footprint of approximately 130 sq m and would comprise living accommodation of a lounge, dining kitchen, hall, porch and bathroom and 3 bedrooms. The roof would be pitched to a ridge height of approximately 5.2m with elevations of red/brown facing brickwork.

Relevant Planning History

44406 - Outline - Residential development - one dwelling (resubmission) - Refused in 2005 for oversupply of housing in the Borough

42266 - Outline - residential development - 2 dwellings - Refused 2004 for inappropriate development on greenfield site, undesirable backland development by reason of disturbance and traffic, intensification of a substandard access

Publicity

28 letters sent on 1/12/2015 to properties at Nos 17-43 (odds) Derby Road, 2-14 (evens) Tamworth Avenue, 5,7,9,11,22,24,26 Carisbrook Avenue.

Twelve letters received from Nos 21, 23, 29, 35 Derby Road, 6, 8,10,12,14 Tamworth Avenue, 5, 9, 26 Carisbrook Avenue

- The proposed building would be too close to the rear of many houses, and vehicles coming in and out of the property would bring unwanted noise and pollution to existing residents, plus car headlights at night would inevitably shine directly at existing houses.
- There is no authorised road for vehicles entering or exiting this land, and also the entrance area is very limited for such procedures - imagine this could be quite dangerous, so close to existing properties.
- Protection of the green belt should be considered.

- On a recent attempted clearance of the land, there were endless days of black bellowing smoke drifting on to surrounding properties. This would be a worry if any building procedures were not handled professionally;
- Reduce the value of homes in the area;
- Light and noise pollution from the dwelling which will have health and safety issues;
- There would be limited access for the fire service;
- There would be an open aspect from Carisbrook causing massive security risks to homes;
- Detrimental impact on a wildlife area;
- Two previous applications were refused in 2004/5, none of the circumstances have changed within what is a greenfield site; refused for poor access;
- The access is sub-standard in terms of width and pedestrian visibility at its junction with Carisbrook Avenue - detrimental to road safety and maintaining the free flow of traffic;
- Problems of drainage from this land;
- The oak tree shown behind No 14 Tamworth Avenue is actually located behind No 12;
- The land in the corner behind No 14 Tamworth is incorrectly shown as being owned by the applicant - is actually owned by No 14;
- No mention of the removal of the raised kerb currently preventing access to the site;
- No dimensions shown on the plan detailing actual lengths/widths;
- Connection to the main sewer would need to be sought;
- The applicant has no right to comment on the retention of any fences to the property which are paid for by each resident;
- Previous attempts by the landowner to develop the site have disturbed the water table, exacerbating drainage problems to Tamworth Avenue;
- The building of a bungalow would not improve the security or visual aspect of the area;
- No evidence the existing 2m high fences would prevent overlooking; Loss of privacy;
- The bungalow would be overlooked by the houses;
- The driveway would provide an access point at the back of properties on Derby Road making it less secure and a much higher risk;
- The application states there are no trees or hedges on the adjacent land though most properties have these;
- What other service lines would be used - for water etc?;
- Disturbance to the land would cause untold damage to surrounding properties;
- Believe there is sufficient land available for residential development within the borough to make it unnecessary to change the purpose of non residential land;

Comment received from a local resident (no address provided):

- What happens if our land is damaged due to heavy vehicles delivering materials;
- How will we know who is residing there;
- How will emergency services get through if required.

The objectors have been informed of the Planning Control Committee meeting.

Consultations

Traffic Section - No objection subject to conditions.

Drainage Section - No objection subject to condition.

Environmental Health Contaminated Land - No objection subject to conditions.

Waste Management - No objection.

United Utilities (Water and Waste) - No comments received.

The Coal Authority - No objection.

Greater Manchester Ecology Unit - No objection subject to conditions and informatives.

Unitary Development Plan and Policies

NPPF	National Planning Policy Framework
H1/2	Further Housing Development
H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
H2/3	Extensions and Alterations

H2/6	Garden and Backland Development
EN1/2	Townscape and Built Design
EN1/5	Crime Prevention
EN6/3	Features of Ecological Value
HT2/4	Car Parking and New Development
SPD6	Supplementary Planning Document 6: Alterations & Extensions
SPD11	Parking Standards in Bury

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Principle - Following revocation of the North West Regional Strategy on 20th May 2013, there is no statutory housing target for Bury. Work has commenced on the Greater Manchester Spatial Framework and this will bring forward a new statutory housing target for the Borough. This will subsequently be incorporated into Bury's future Local Plan.

In the meantime, the National Planning Policy Framework should be treated as a material planning consideration and it emphasises the need for local planning authorities to boost the supply of housing to meet local housing targets in both the short and long term. There is a particular emphasis, as in previous national planning guidance, to identify a rolling five year supply of deliverable land.

UDP Policy H1/2 states that the council will have regard to various factors when assessing a proposal for residential development, including whether the proposal is within the urban area, the availability of infrastructure and the suitability of the site, with regard to amenity, the nature of the local environment and the surrounding land uses.

UDP Policies H2/1 - The Form of New Residential Development and H2/2 - The Layout of New Residential Development takes into consideration factors relating to the height and roof type of adjacent buildings, the impact of developments on residential amenity, the density and character of the surrounding area and the position and proximity of neighbouring properties. Regard is also given to parking provision and access, landscaping and protection of trees/hedgerows and external areas.

UDP Policy H2/6 - Garden and Backland Development - Proposals would not be permitted which result in the loss of private gardens and backland for infill development unless it can be demonstrate that proposals would not adversely affect the character and amenity of the area. special regard would be had to the concentration of such development in the surrounding area, the relative density, the impact on neighbouring properties and local environment and access arrangements.

Supplementary Planning Document 6 - Alterations and Extensions to Residential Properties provides useful guidance in terms of acceptable aspect standards between dwellings and design criteria.

The proposed development would be located within an established residential estate within the urban area and would therefore not conflict with the local environment in terms of character and the surrounding land uses. There is existing infrastructure in place to facilitate the development, and the scale of the proposal would not result in over development of the site.

As such, the principle of residential use is considered to be acceptable and would be in

compliance with the NPPF and UDP Policies H1/2, H2/1, H2/2 and H2/6.

Details of the layout, design, proximity to residential properties and access and parking are discussed below

Layout and siting - The position of the dwelling would be largely dictated by the shape of the site and the surrounding houses. It would not be possible for the dwelling to follow any of the established building lines in the area, and as a result, the most appropriate solution would be to site it fairly centrally with the frontage facing the existing access and the rear of properties on Carisbrook Avenue.

The property would provide modest accommodation, comprising living areas and 3 bedrooms, with a large rectangular piece of land at the rear providing garden amenity area. The existing access into the site in between Nos 9 and 11 Carisbrook Avenue would be utilised, and lead to the parking and turning area which would be located in front of the dwelling. The site is bounded on all sides by the existing timber fences which enclose the garden areas of the surrounding properties and these would be retained.

Whilst the site is not uniform or regular in shape, it is considered that the proposal would make best use of the available land to provide a dwelling with adequate parking and garden areas, without compromising the amenity of either future occupiers or surrounding residential properties.

As such, the layout is considered to be acceptable and would comply with H2/1 - The Form of Residential development, H2/2 - The Layout of New Residential Development and H2/6 - Garden and Backland Development.

Design and appearance - The new dwelling would be a bungalow, and a different housetype to those in the immediate area. It would be located on fully enclosed land and surrounded on all sides by residential properties, save for the access point. It would not be visible from the public domain, and therefore it is considered that as an individual unit, the proposed housetype would be acceptable.

In terms of height and massing, the bungalow would be relatively modest, incorporating a gabled pitched roof and front pitched projection. Elevationally, symmetrical standard window openings would be positioned on the front and rear elevations, with minimal intrusions proposed to the fenestration of the property, resulting in an unfussy and understated design.

Materials would comprise facing red/brown brickwork and roof tiles, details to be approved by condition.

Whilst the dwelling would be a different design and type to the other properties in the area, it would be a modest addition within an area characterised by fairly traditionally built semi detached houses, and as such considered to be acceptable in the locality, in compliance with UDP Policies H2/1 - The Form of New Residential Development and EN1/2 - Townscape and Built Design.

Impact on residential amenity - SPD6 advises that a distance of 20m should be maintained between habitable room windows in 2 properties and 13m between a ground floor habitable room windows and a 2 storey blank wall.

There would be a distance of more than 20m between the proposed property and the dwellings to the east, south and west, and as such aspect standards would be satisfied.

To the north, the rear of dwellings on Tamworth Avenue are set at a lower level, by approximately one storey and would be 16.4m away. As the new dwelling would be a bungalow, the relationship to these houses would be similar to a relationship between two single storey buildings. There would be one window on the elevation which would face

these houses. This would be a narrow, high level window, and not a principle habitable room window. As such, there would be no direct overlooking and separation distances to the houses on Tamworth Avenue would therefore be acceptable and in compliance with SPD6.

There are existing fences to the perimeter all of the properties which form the boundary to the site and which would also afford some screening of the lower part of the dwelling. It would also protect these properties from car headlights at night.

The proposed layout demonstrates that the siting of the single bungalow could be comfortably accommodated on the size and topography of the site without compromise to the privacy or outlook to the surrounding residential properties. The access into the site for a single dwelling is considered would not lead to significant intensification of vehicular traffic to the area.

Notwithstanding the acceptability of the proposed scheme, and in order to control the impact which any future additions may have on the amenity of the area, it is considered reasonable to include a condition to restrict permitted development rights for extension.

As such, it is considered that there would be an acceptable relationship between the proposed dwelling and the surrounding residential dwellings and would be in compliance with UDP Policies H2/1, H2/2, H2/6 and SPD 6.

Access and parking - There is an existing access to the site between Nos 9-11 Carisbrook Avenue which would serve the development. It is proposed to install gates which would be set 5m into the site and which would ensure a vehicle could enter without detriment to highway or pedestrian safety. It would lead to a turning and parking area for at least 2 cars, with ample room to manoeuvre within the site to enable exit in a forward gear. The addition of 1 dwelling in this location would not significantly intensify traffic to the area or as a result create undue highway safety issues, given the speed that cars would have to enter and exist the site.

In terms of parking, SPD11 states a maximum requirement of 2 spaces for a 3 bed property, and as such standards would be satisfied.

The Highways Section have not raised any objection to the access, subject to conditions.

The proposal is therefore considered to be acceptable and would therefore be compliant with UDP Policies H2/2, HT2/4 and SPD11.

Coal Authority - The site falls within a defined Development High Risk Area, and the Coal Authority (CA) records indicate that within the site and surrounding area there are coal mining features and hazards which should be considered as part of the proposals. The CA have considered the mining legacy matters affecting the site further. There is an outcropping coal seam which is likely to be under a significant thickness of superficial drift deposits at a depth in excess of 30m. The CA therefore consider that a coal mining risk assessment is not necessary for this proposal and does not object to the planning proposal.

Ecology - The site is a well vegetated and semi-natural habitat, with tree and shrub planting. An Ecological Survey has been submitted and GMEU have been consulted on the application. No significant ecological constraints were identified and GMEU are satisfied that minor issues relating to invasive species, nesting birds and ecological mitigation identified in the report can be resolved by condition or informative.

Invasive species - Two species listed under schedule 9 part 2 of the Wildlife and Countryside Act 1981 (as amended) were identified on site, monbretia and variegated yellow archangel. The site is not wild and therefore if there is no exportation of soil from the site there would be no risk of an offence. A condition and informative are recommended advising the applicant of the required measures should invasive species be

found on site.

Trees and nesting birds - The site has been assessed as low risk, with the remaining trees to be retained. An informative has therefore been recommended advising the applicant of their responsibilities under the Wildlife and Countryside Act.

Ecological mitigation - The mature trees are the most important ecological feature on site and these are to be retained. The Ecological Report has suggested relocating these species to an alternative site. This would not be something reasonable in planning terms as it would be outside the control of the applicant's land. It would therefore be better to be dealt with in more general terms as part of the wider ecological mitigation and can be conditioned as part of the general landscape proposals.

Response to objectors -

- Whereas in 2005, planning policy resisted residential development due to an oversupply of housing stock, and hence the previous applications were refused, there is now a need to significantly boost the supply of housing, as advocated by the Government and set out in chapter 6 - Delivering a wide choice of high quality home, of the NPPF.
- The issues raised with regard to the access, highway and pedestrian safety, impact on residential amenity, overlooking and privacy and the principle of residential amenity and ecology have been covered in the above report.
- The Drainage Engineer has raised no objection subject to the submission of a drainage scheme for the property which would require approval prior to the commencement of any development.
- There is no reason to assume that the site would be any less secure than other residential, backhand or garden developments.
- One additional dwelling to the area would not significantly increase noise or disturbance to the area, anymore than already exists.
- The applicant has stated that the land is wholly within their ownership, and if proved otherwise, is not a material planning consideration.
- House valuation is not a material planning consideration.
- The land is not allocated as Green Belt.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered Block plan 15020 SK 1; Planning drawing 01 Revision C and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.

3. No development shall commence unless and until:-
 - A contaminated land Preliminary Risk Assessment report to assess the actual/potential contamination and/or ground gas/landfill gas risks at the site shall be submitted to, and approved in writing by, the Local Planning Authority;
 - Where actual/potential contamination and/or ground gas/landfill gas risks have been identified, detailed site investigation and suitable risk assessment shall be submitted to, and approved in writing by the Local Planning Authority;
 - Where remediation/protection measures is/are required, a detailed Remediation Strategy shall be submitted to, and approved in writing by, the Local Planning Authority.

Reason. The scheme does not provide full details of the actual contamination and subsequent remediation, which is required to secure the satisfactory development of the site in terms of human health, controlled waters, ground gas and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
4. Following the provisions of Condition 3 of this planning permission, where remediation is required, the approved Remediation Strategy must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
5. No development shall commence unless and until details of surface water drainage proposals have been submitted to and approved by the Local Planning Authority. The proposed scheme must be based on the hierarchy of drainage options in the National Planning Practice Guidance and include assessment of potential SuDS options for surface water drainage with appropriate calculations and test results to support the chosen solution. Details of proposed maintenance arrangements should also be provided. The approved scheme only shall be implemented and thereafter maintained.

Reason. The application does not contain sufficient information to fully assess the impact and to promote sustainable development pursuant to chapter 10 - Meeting the challenge of climate change, flooding and coastal change of the NPPF.
6. A landscaping scheme shall be submitted to, and approved in writing by, the Local Planning Authority prior to the commencement of the development. The content of the plan should include elements to mitigate for loss of ecological interest associated with the site including ground flora and bird nesting habitat. The approved plan shall be implemented in accordance with the approved details, and to an approved timetable. Any trees or shrubs removed, dying or becoming severely damaged or becoming severely diseased within five years of planting shall be replaced by trees or shrubs of a similar size or species to those originally required to be planted to the written satisfaction of the Local Planning Authority.

Reason. To secure the satisfactory development of the site and in the interests of visual amenity pursuant to Policy EN1/2 - Townscape and Built Design and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan.
7. Notwithstanding the terms of the Town and Country Planning (General Permitted Development) Order 2015, no development shall be carried out within the terms of Classes A to F of Part 1 of Schedule 2 of the Order, without the prior written consent of the Local Planning Authority.

Reason. To ensure that future inappropriate alterations or extensions do not occur pursuant to policies of the Bury Unitary Development Plan H2/1 - The Form of Residential Development, H2/2 - The layout of New Residential Development, H2/6 - Garden and Backland Development and H2/3 - Extensions and Alterations.

8. Details and samples of the materials to be used in the external elevations, together with details of their manufacturer, type/colour and size, shall be submitted to and approved in writing by the Local Planning Authority before the development is commenced. Only the approved materials shall be used for the construction of the development.

Reason. No material samples have been submitted and are required in the interests of visual amenity and to ensure a satisfactory development pursuant to UDP Policy EN1/2 Townscape and Built Design and H2/1 - The Form of New Residential Development.

9. The new footway crossing onto Carisbrook Avenue indicated on approved plan reference 12000 01 Revision C shall be implemented in full to the approval of the Local Planning Authority prior to occupation of the dwelling hereby approved.

Reason. To ensure good highway design and maintain the integrity of the adopted highway, in the interests of road safety pursuant to Bury Unitary Development Plan Policies H2/2 - The layout of New Residential Development and HT6/2 - Pedestrian/Vehicular Conflict.

10. The gates indicated on approved plan reference 12000 01 Revision C shall be set back a minimum of 5m from the back of the adopted footway and thereafter maintained.

Reason. To ensure good highway design in the interests of pedestrian safety pursuant to Bury Unitary Development Plan Policies H2/2 - The Layout of New Residential Development and HT6/2 - Pedestrian/Vehicular Conflict.

11. The turning facilities indicated on the approved plans shall be provided before the development is first occupied and shall subsequently be maintained free of obstruction at all times.

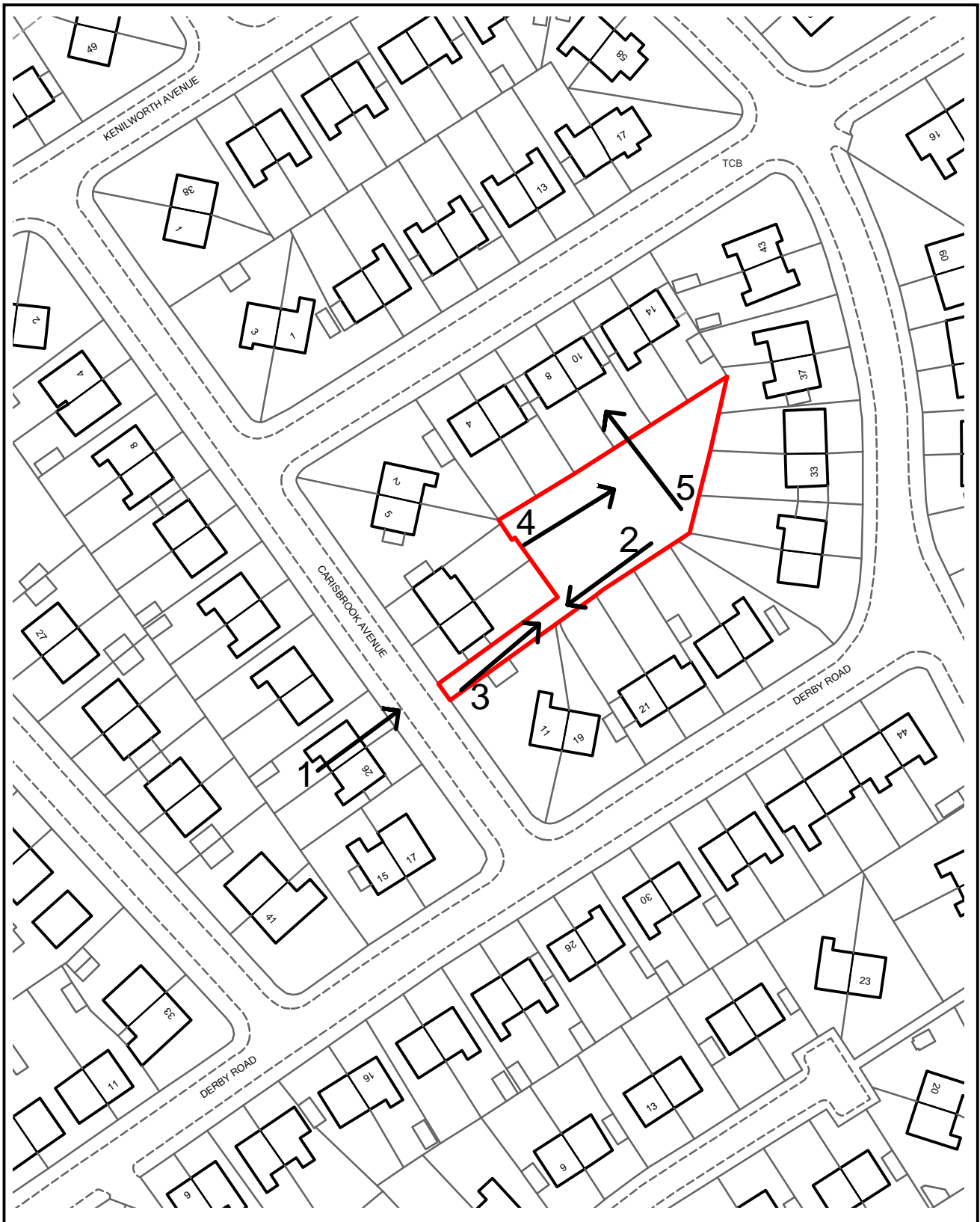
Reason. To minimise the standing and turning movements of vehicles on the highway in the interests of road safety pursuant to Bury Unitary Development Plan Policies H2/2 - The Layout of New Residential Development and HT6/2 - Pedestrian/Vehicular Conflict.

12. No development shall commence until full details of a scheme for the eradication and/or control of Monbretia and Variegated Yellow Archangel has been and approved in writing by the Local Planning Authority. The approved management plan shall include a timetable for implementation. Should a delay of more than one year occur between the date of approval of the management scheme and either the date of implementation of the management scheme or the date of development commencing, a further site survey must be undertaken and submitted to the Local Planning Authority.

Reason. The scheme does not provide full details of the actual extent of Invasive Species in the interest of UDP Policy EN9 - Landscape and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

For further information on the application please contact **Jennie Townsend** on **0161 253-5320**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 59509

ADDRESS: Land at rear of 7-11 Carisbrook Avenue
Whitefield

Planning, Environmental and Regulatory Services

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59509

Photo 1



Photo 2



59509

Photo 3



Photo 4



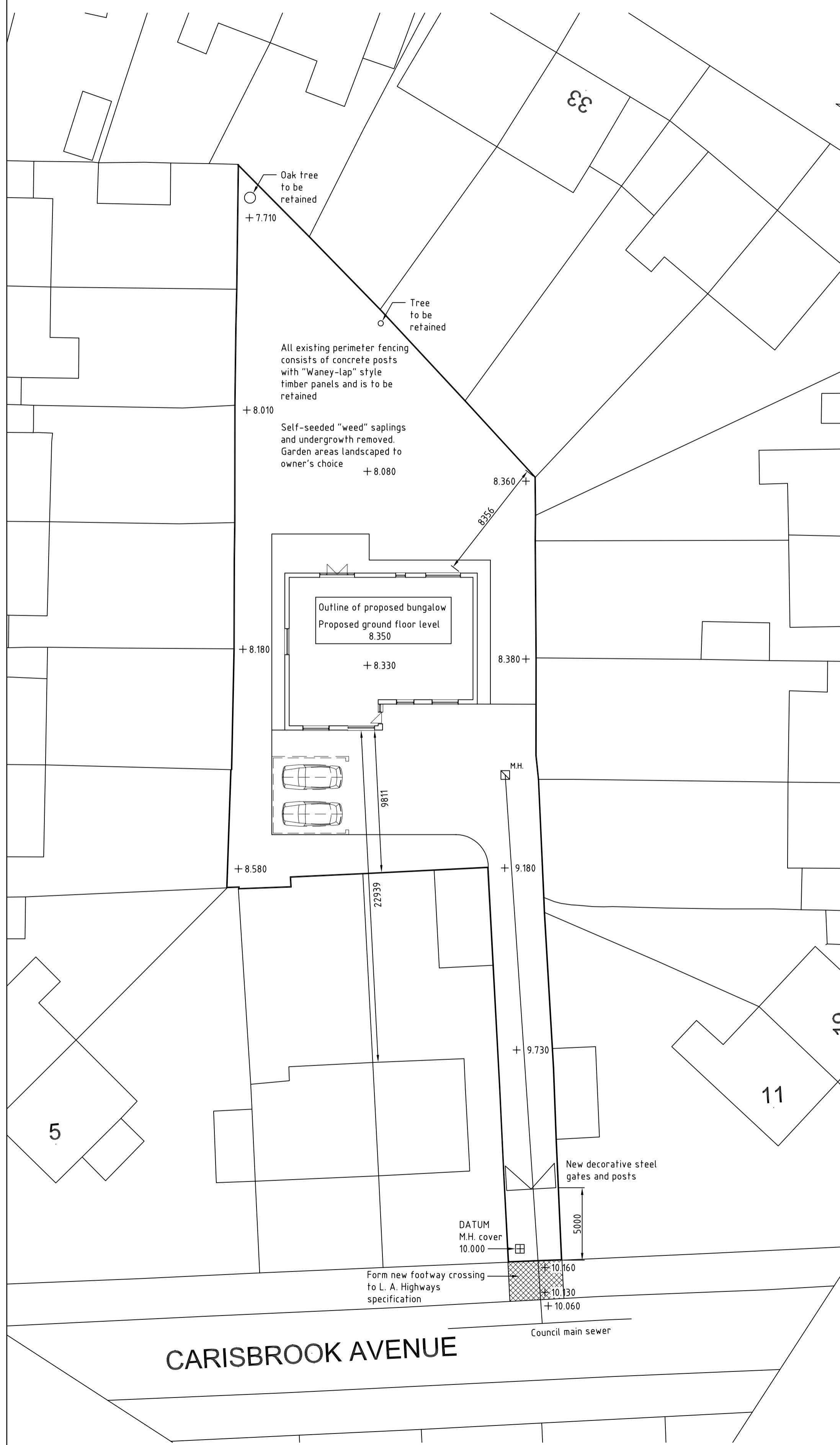
59509

Photo 5

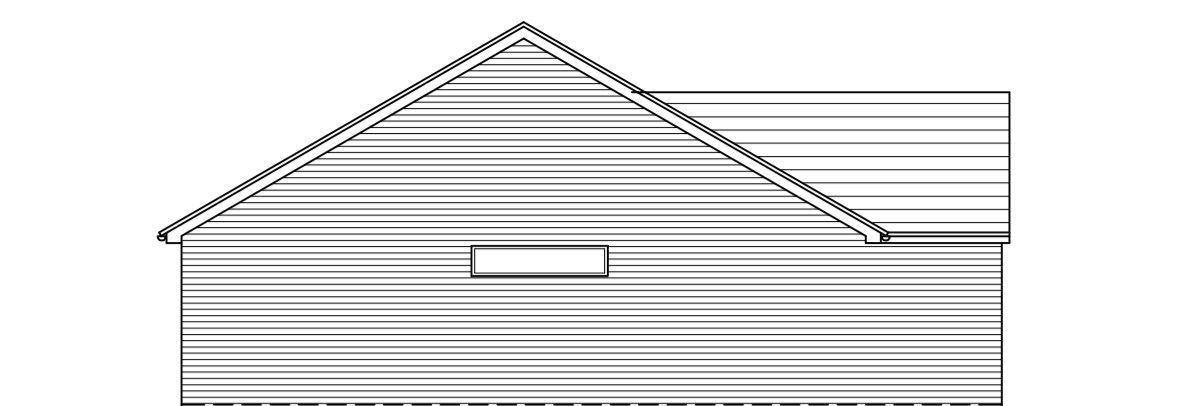


NOTES

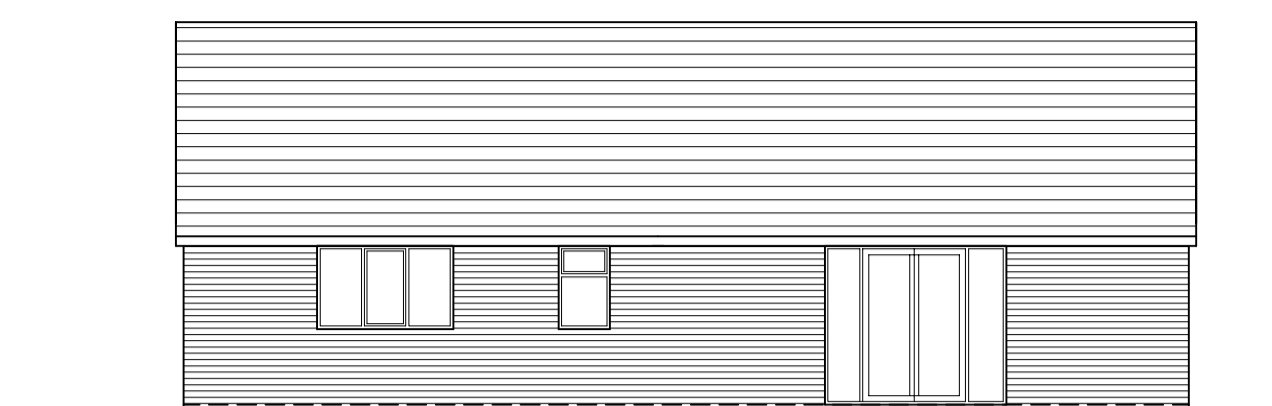
1. Roof covering: large format profiled concrete tiles, e.g. Marley Ludlow Major or Marley Modern, colour to L.A. approval
2. External walls: Facing brick to L.A. approval
3. Window and door frames: white UPVC
4. Rainwater goods: black UPVC
5. Entrance pathway and parking area: Tarmac.
6. Perimeter paths and patio: Precast concrete flags, colour natural
7. Garden areas generally laid to lawn with beds and borders to client's choice



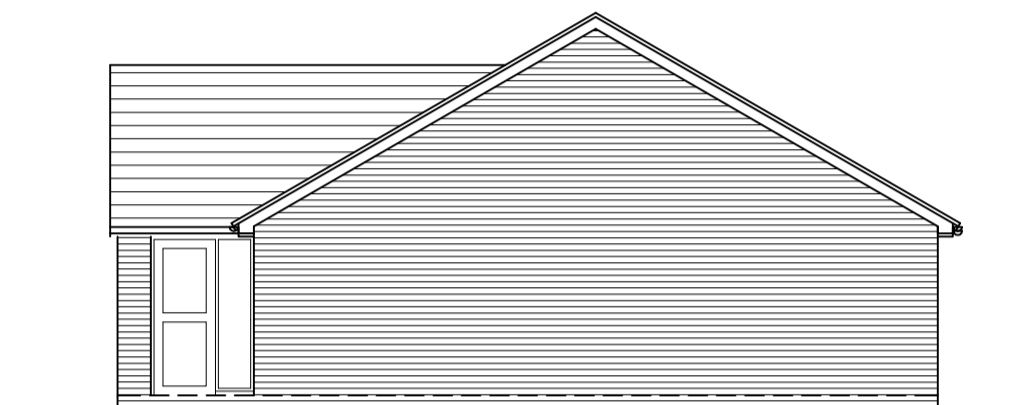
**SITE PLAN 1:200 SCALE SHOWING LEVELS
DATUM = MANHOLE COVER ADJ FRONT GATE 10.000**



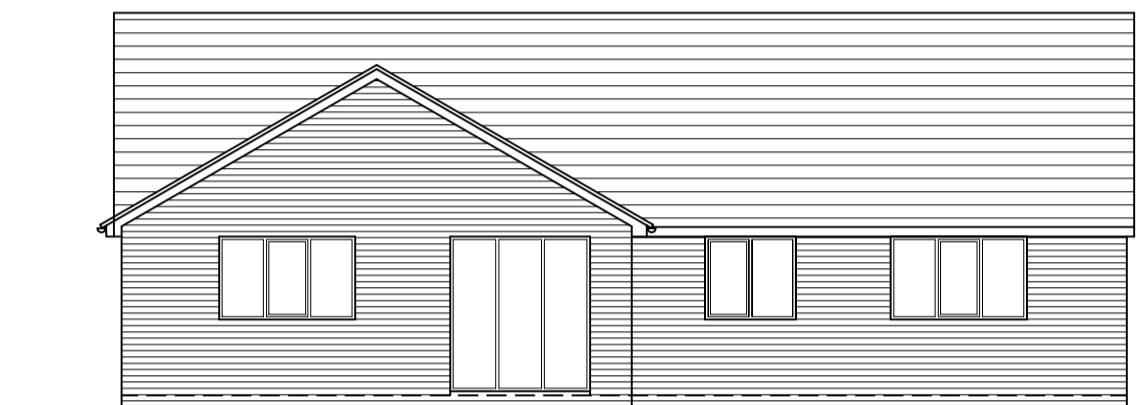
NORTH WEST ELEVATION



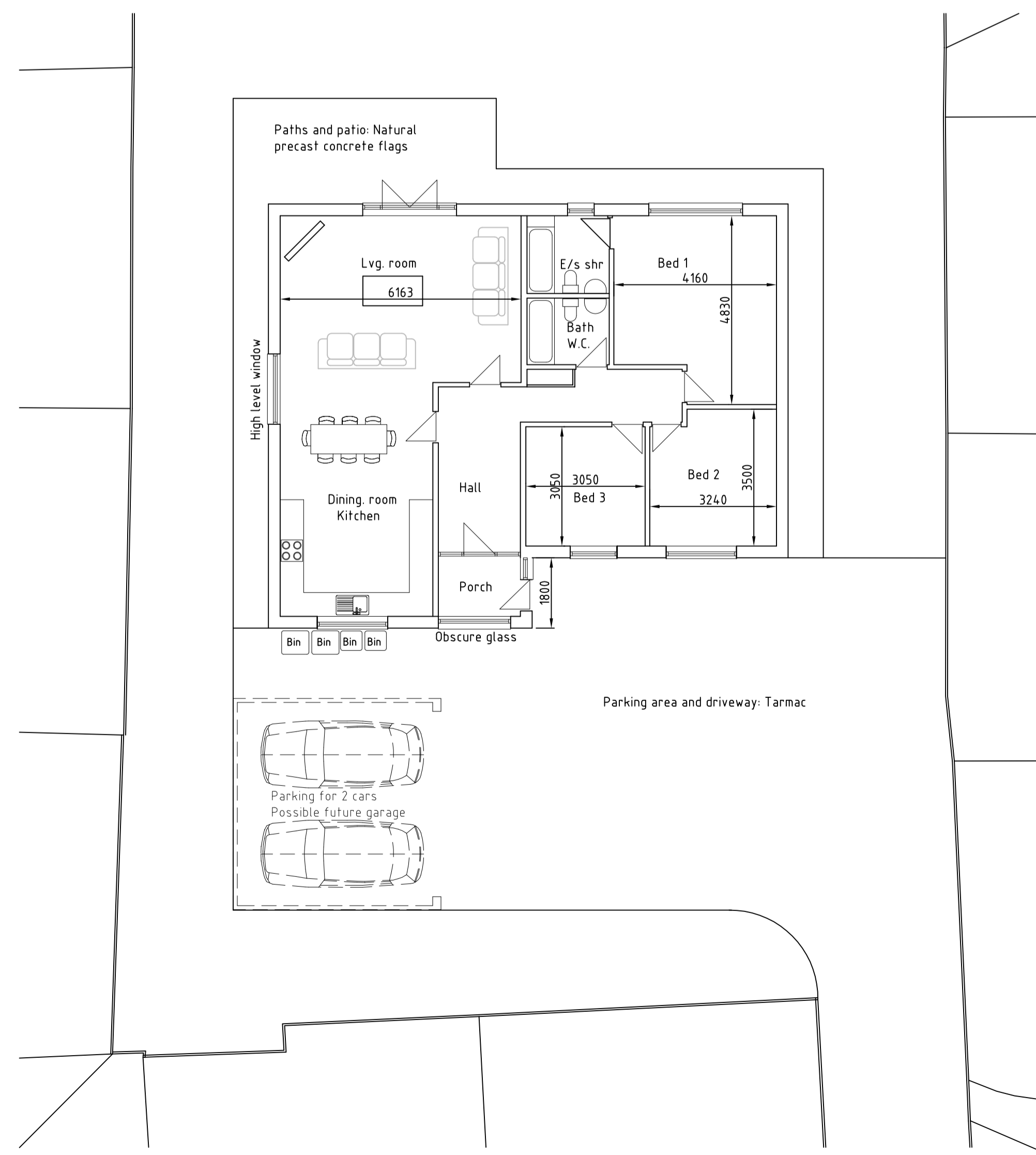
NORTH EAST ELEVATION



SOUTH EAST ELEVATION



SOUTH WEST ELEVATION



GROUND FLOOR PLAN 1:100 SCALE

rev	date	by	chkd
C	25.1.16	PNH	Footway crossing added, parking area increased
B	15.1.16	PNH	Roof pitch reduced to 30 deg
A	27.11.15	PNH	Location of bins shown

client	KATY MOGHIMI		
project	PROPOSED BUNGALOW ON LAND BETWEEN 9 AND 11, CARISBROOK ROAD, M45 6UP		
title	PLANNING DRAWING		
scales	1:50		
drawn	checked	approved	date
PNH			NOV 2015
contract no.	drawing no.	revision	
12000	01	C	

**Peter N Hewitt Associates Ltd
Consulting Engineers**

3 Wadebridge Avenue, Baguley
Manchester M23 9LS
Tel. 0161-905 2555. Mobile 07946 642 414
E-mail: phewitt1@btconnect.com

Ward: Bury East - Moorside

Item 04

Applicant: BUPA (UK)

Location: Burrswood House, Newton Street, Bury, BL9 5HB

Proposal: Proposed extension to enclose lift (revised scheme)

Application Ref: 59581/Full

Target Date: 11/02/2016

Recommendation: Approve with Conditions

Description

The site contains an existing two storey building, which is in use as a residential care home. The building is constructed from red brick with a tile roof and the building is located around a small car park. The site is accessed from Newton Street and there is additional parking areas to the north and south of Newton Street.

There are residential properties to the north, south, east and west of the site. There is a commercial garage to the east, which is opposite Purdon Street. This includes a row of separate dwellings within the site numbered 1 and 2 Littlewood Cottages and Littlewood Farmhouse.

This application is a revised scheme following application ref 58615 which was approved on 29/07/15. The proposed development involves the erection of an extension to provide a lift at the care home. The proposed extension would be located on the southern element of the building and would be adjacent to a car park. The proposed extension would be two storeys in height with a pitched roof and would be constructed from red brick with a tile roof. The only difference between this application and the previous one is that the footprint is slightly larger changing from 4.71m wide to 5.23m wide and also the ridge height would be 7.42m whereas it was previously approved at 7.27m.

Relevant Planning History

58615 - Proposed extension to enclose lift - Approve with Conditions 29/07/2015

08/0315 - ADVERTISEMENT BOARDS ERECTED FOR NURSING HOME - 17/07/2008

Publicity

Immediate neighbours notified on 18.12.15 - Two objections have been received from the occupiers of Littlewood Farm and number 1 Littlewood Cottages which raised the following issues;

The occupiers of Littlewood Cottage, 1 Newton Street have given the following reasons of objection;

- I live directly opposite and some 12 meters from the front elevation of this proposed lift shaft, which faces my front door, living room and front bedroom windows.
- I objected to the original application made in July (The modified application 58615).
- I firmly believe the site has been extensively over developed already. I firmly believe the lift shaft remains unnecessary and is not in keeping with the existing site.
- NO consideration has been given for installation of the shaft at the REAR opposite elevation entering onto the back of the car park, despite this being a preferred location to local residents affected.
- I call on the local authority to reject this new submission.

The occupiers of Littlewood Farmhouse also objected giving the following reasons;

- Less obtrusive sites are available which would have considerably less impact on their neighbours. At no stage during this planning process have they made any attempt to discuss these concerns with us or seek to allay our fears.
- The lift could be sited equally well on the south facing side of the wing and it could be constructed within the footprint of the building but this would impact on floor space/bedrooms in the building which could reduce the earning capacity of the building.
- water services for our property are routed through the proposed development area, so assurances over their protection and continued integrity would be expected.

Consultations

None required.

Unitary Development Plan and Policies

EN1/2	Townscape and Built Design
EN7	Pollution Control
HT2/4	Car Parking and New Development
HT5/1	Access For Those with Special Needs
CF1/1	Location of New Community Facilities
CF3/1	Residential Care Homes and Nursing Homes
SPD6	Supplementary Planning Document 6: Alterations & Extensions
NPPF	National Planning Policy Framework

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Principle - Policy CF1/1 states that proposals for new and improved community facilities will be considered with regard to the impact upon residential amenity and the local environment; traffic generation and car parking; the scale and size of the development; accessibility by public and private transport; the needs and requirements of the disabled.

The proposed development involves a two storey extension to provide an additional lift within the nursing and residential care home and as such, would improve the existing facilities for the residents in the nursing home. The proposed development would be appropriate in terms of the size and scale of the extension in comparison to the care home as although slightly larger than the previously approved scheme the development would remain subservient to the existing building. Therefore, the proposed development would be in accordance with Policy CF1/1 of the Bury Unitary Development Plan.

Design and layout - The proposed extension would be located on the northern elevation of the building and would be two storeys in height. The proposed extension would be constructed from red brick with a tile roof. The design of the roofline to the proposed development has been amended and the pike detail would be removed and a pitched roof proposed. As such, the proposed development would not be a prominent feature within the streetscene and would be in accordance with Policies CF1/1 and EN1/2 of the Bury Unitary Development Plan.

The proposed development would involve the installation of a lift, which would ensure that the proposed building is fully accessible for all. Therefore, the proposed development would be in accordance with Policy HT5/1 of the Bury Unitary Development Plan.

Impact upon residential amenity - SPD 6 provides guidance on aspect standards between residential properties and as such, would be relevant in this case. The SPD states that there must be a minimum of 13 metres between a habitable room window and a two storey blank wall.

There would be a minimum of 17.3 metres between the proposed development and the front elevation of Littlewood Cottage and Littlewood Farm. This would be in excess of the required aspect standard.

There would be 54.5 metres between the proposed extension and the rear elevation of 327 Walmersley Road, which would be in excess of the aspect standard.

Therefore, the proposed development would not have an adverse impact upon the residential amenity of the neighbouring properties and would be in accordance with Policy CF1/1 of the Bury Unitary Development Plan.

Highways issues - The proposed development would be located on a grassed area with a path and as such, would not have an adverse impact upon the access arrangements or parking provision at the site.

Response to objectors

There may be other options for the scheme, but the Council has to determine the application before it. A previous scheme has been approved that equally exceeded minimum aspect standards. The lift shaft has no openings to encourage overlooking and therefore privacy would not be affected.

The ability to see a development is not a sufficient reason to refuse a scheme but being too close or impacting upon privacy is. As the scheme exceeds minimum standards, and is marginal in terms of difference to the approved scheme and is still compliant with adopted policy, it is considered that the development can be supported and be recommended to be approved.

The loss of view is not a material planning consideration and cannot be taken into consideration. The issue of residential amenity, visual amenity and the issues relating to access and parking are addressed above.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The proposal complies with the development plan and would improve the economic, social and environmental conditions of the area. It therefore comprises sustainable development and the Local Planning Authority worked proactively and positively to issue the decision without delay. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered AL(0)01 Rev A, AL(0)02 Rev A, AL(0)03 Rev F, AL(0)04 Rev E, AL(51)01 Rev C and AL(51)10 and the development shall not be carried out except in accordance with the drawings hereby approved.

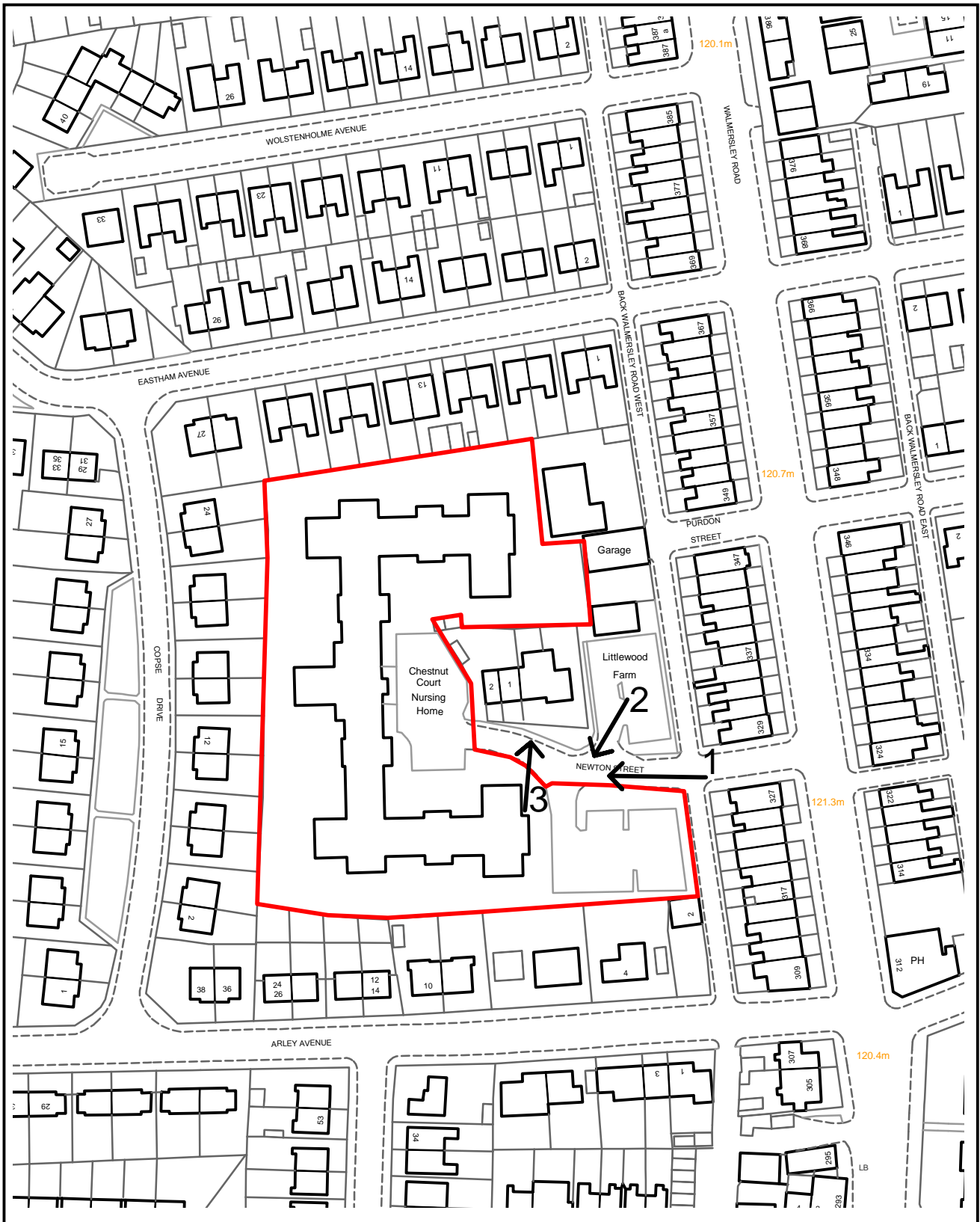
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury UDP Policy H2/3 - Extensions and Alterations and the guidance in Supplementary Planning Document 6 – Alterations and Extensions to Residential Properties.

3. The external finishing materials for the proposal hereby approved shall match those of the existing building.

Reason. In the interests of visual amenity and to ensure a satisfactory development pursuant to Policy EN1/2 - Townscape and Built Design of Bury Unitary Development Plan.

For further information on the application please contact **Amanda Uhunmwagho** on **0161 253 5323**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 59581

**ADDRESS: Burrswood House
Newton Street
Bury**

Planning, Environmental and Regulatory Services



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59581

Photo 1



Photo 2



59581

Photo 3





Notes
 Do not scale, use figured dimensions only.
 All dimensions to be verified on site prior to the commencement of any work or the production of any shop drawing. All discrepancies to be reported to the Architect.
 This drawing is to be read in conjunction with all related Architects and Engineer's drawings and any other relevant information.
 This drawing is copyright © of DWA Architects Ltd.

date	revision	
-	10.03.2015	Provisional Issue
A	31.03.2015	Notes added for planning application
B	31.03.2015	Update after planning observations.
C	20.11.2015	Revised planning application

DWA ARCHITECTS
PLANNING ISSUE



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 Website
 www.dwa-architects.co.uk



Client
BUPA

Project
Burrswood Bury

Drawing Title
Proposed Site Plan

Scale
1:200 @ A1
 Date
10.03.2015
 Drawn by
CMB
 Checked by
JQ

Job No.
B5138
 Drawing No.
AL(51)01
 Rev.
C

GENERAL

All work to be carried out in accordance with the relevant sections of BS8000-0:2014 to the complete satisfaction of the Local Authority Building Control Officer

2306 CROSS VENTILATION TO ROOFSPACE

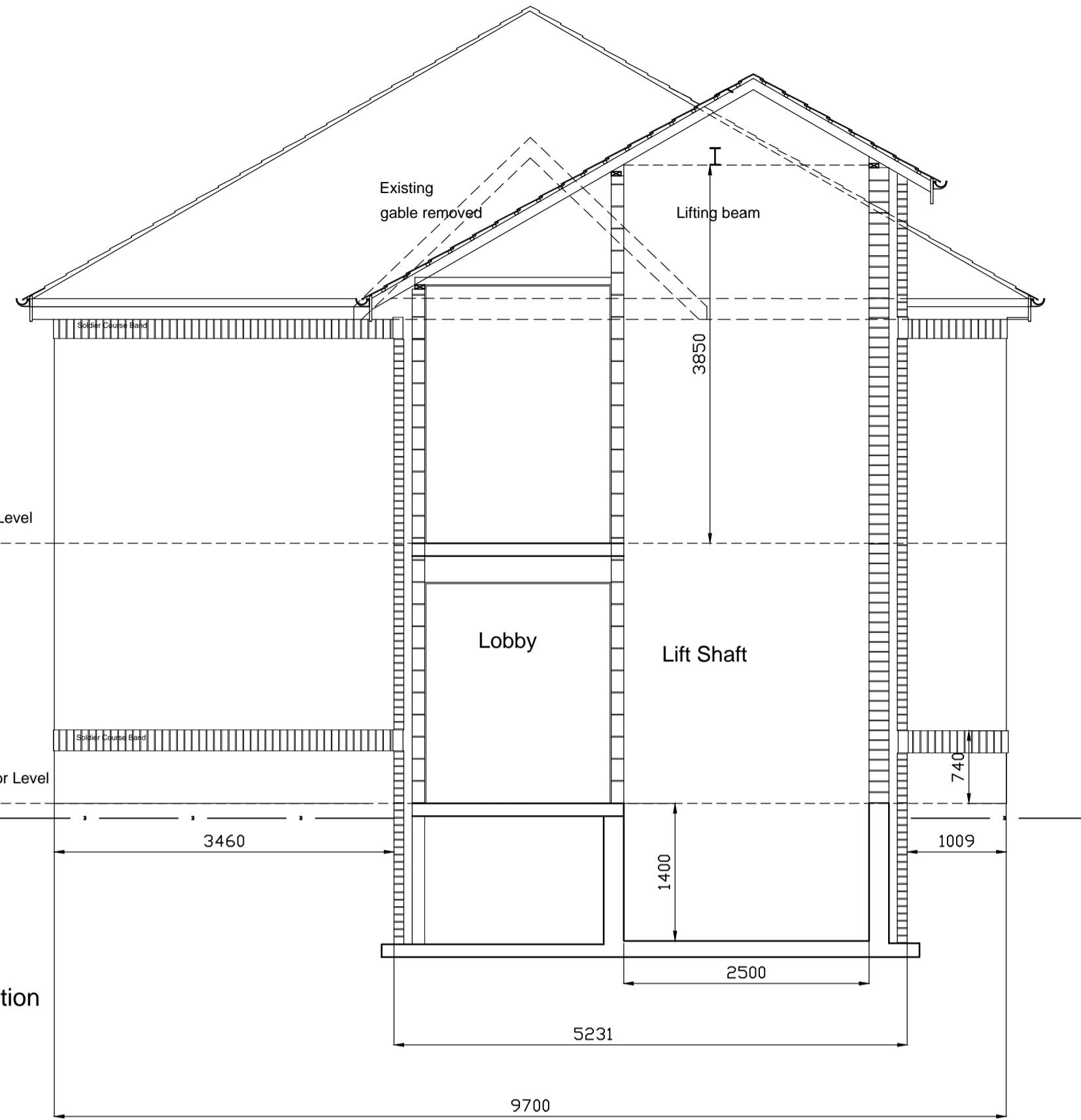
Ventilated soffit to eaves (25mm). Roof space insulation to continue over the wall plate to meet the cavity wall insulation whilst also maintaining 50mm air gap between the roof covering and the insulation.

2306 ROOF SPACE INSULATION

Insulation installed at ceiling level. Layer of insulation quilt laid between ceiling joists and a further layer perpendicular to and over those joists to provide requisite U value (0.16).

2308 RAINWATER GOODS

uPVC rainwater goods to new roof areas manufactured in compliance with BS 4578-1:1989 and installed in accordance with manufacturers instructions. 100mm half round gutters and 75mm circular downpipes. Downpipes to discharge to trapped gullies and gullies connected to existing underground surface water drainage system.



3.01 Proposed Section

2801 LIFTING BEAM

Lifting Beam to SE details. All steelwork supporting elements of structure to be provided with 30mins (BS476) structural fire protection.

2303 WALLPLATES

Wallplates 100 x 50 (treated) secured to masonry with 50 x 3 mm galvanised ms straps @ 1500mm c/c.

2302 ROOF CONSTRUCTION

Interlocking concrete roofing tiles (colour and texture as existing) roof pitch approx 30 deg, fixed to treated battens laid over roofing membrane (fixed in accordance with manufacturers instructions). 100 x 50 C16 rafters @ 450mm c/c.

2301 FIRST FLOOR CONSTRUCTION

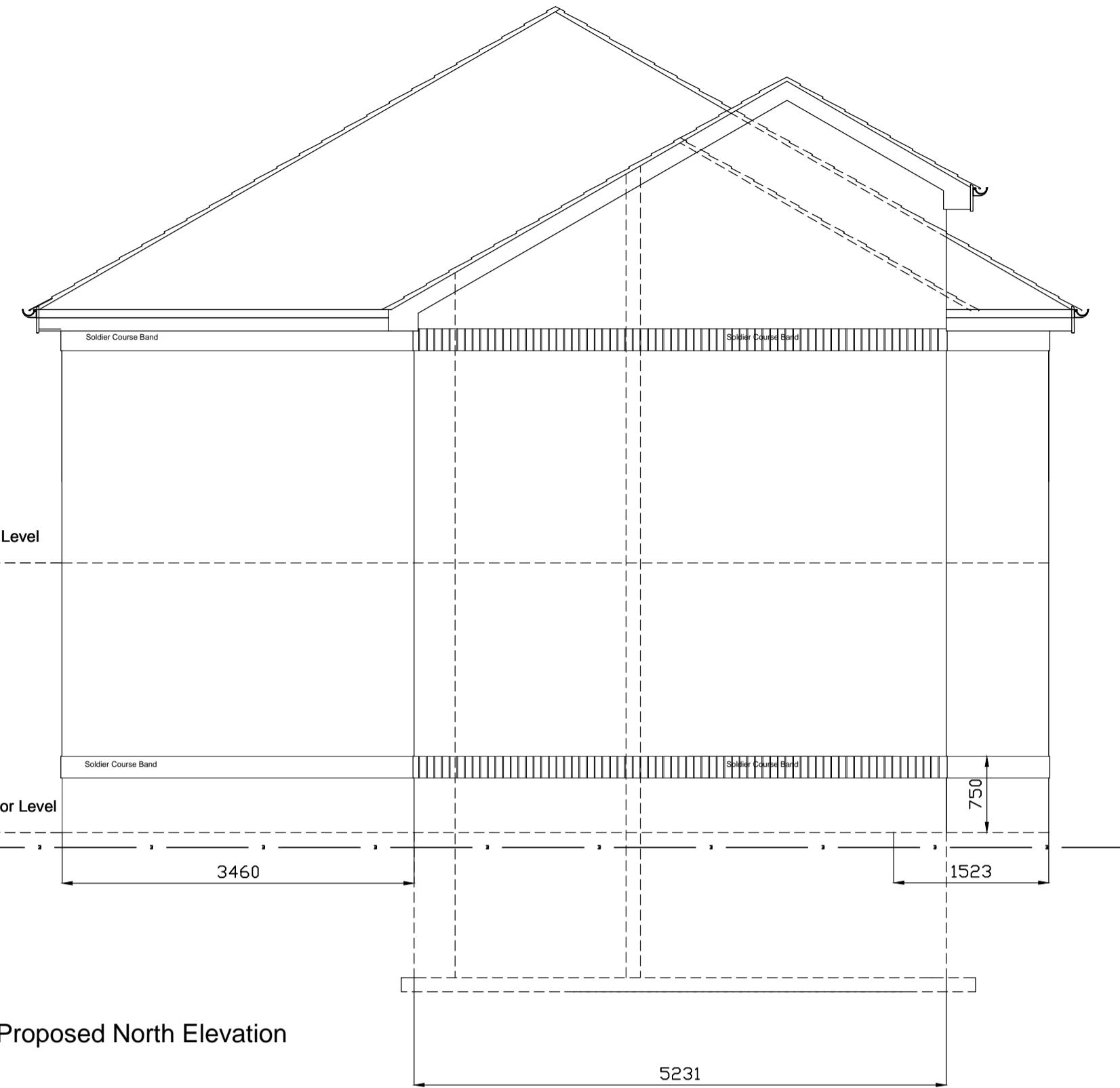
Beam and block by specialist contractor (Refer to SE drawings. Details to be provided for approval by Building Control before installation)

2202 DPC TO WALLS

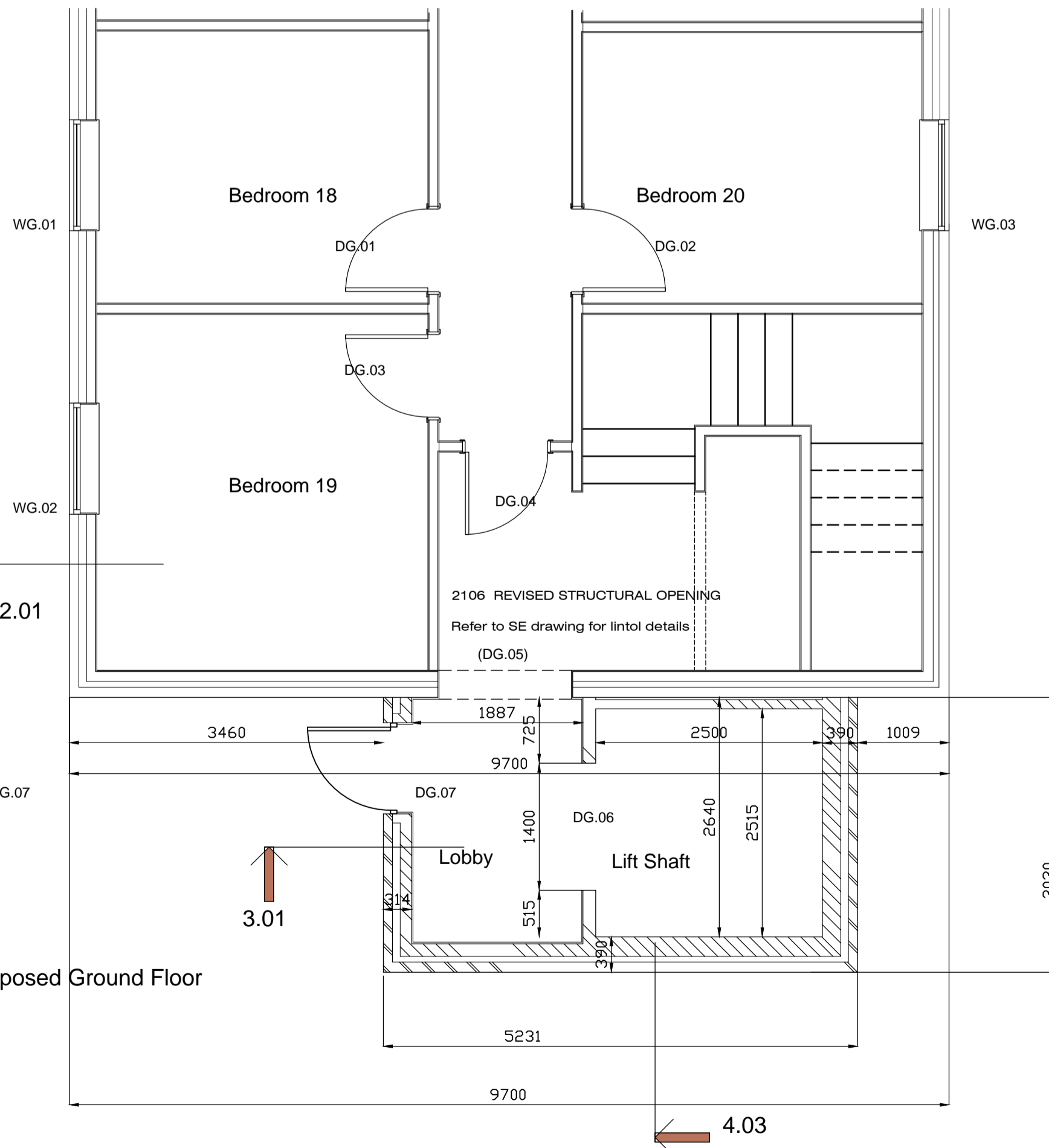
Polyethylene dpc to BS6515:1984 installed in all walls at floor level.

1001 SUBSTRUCTURE

Refer to SE drawings for details of foundations and lift pit



3.02 Proposed North Elevation



3.03 Proposed Ground Floor

2203 INSULATED CAVITY CLOSERS

Install insulated cavity closer/vertical dpc, Kingspan Thermabate (or similar) to all openings, installed in accordance with manufacturers instructions

2201 CAVITY TIES

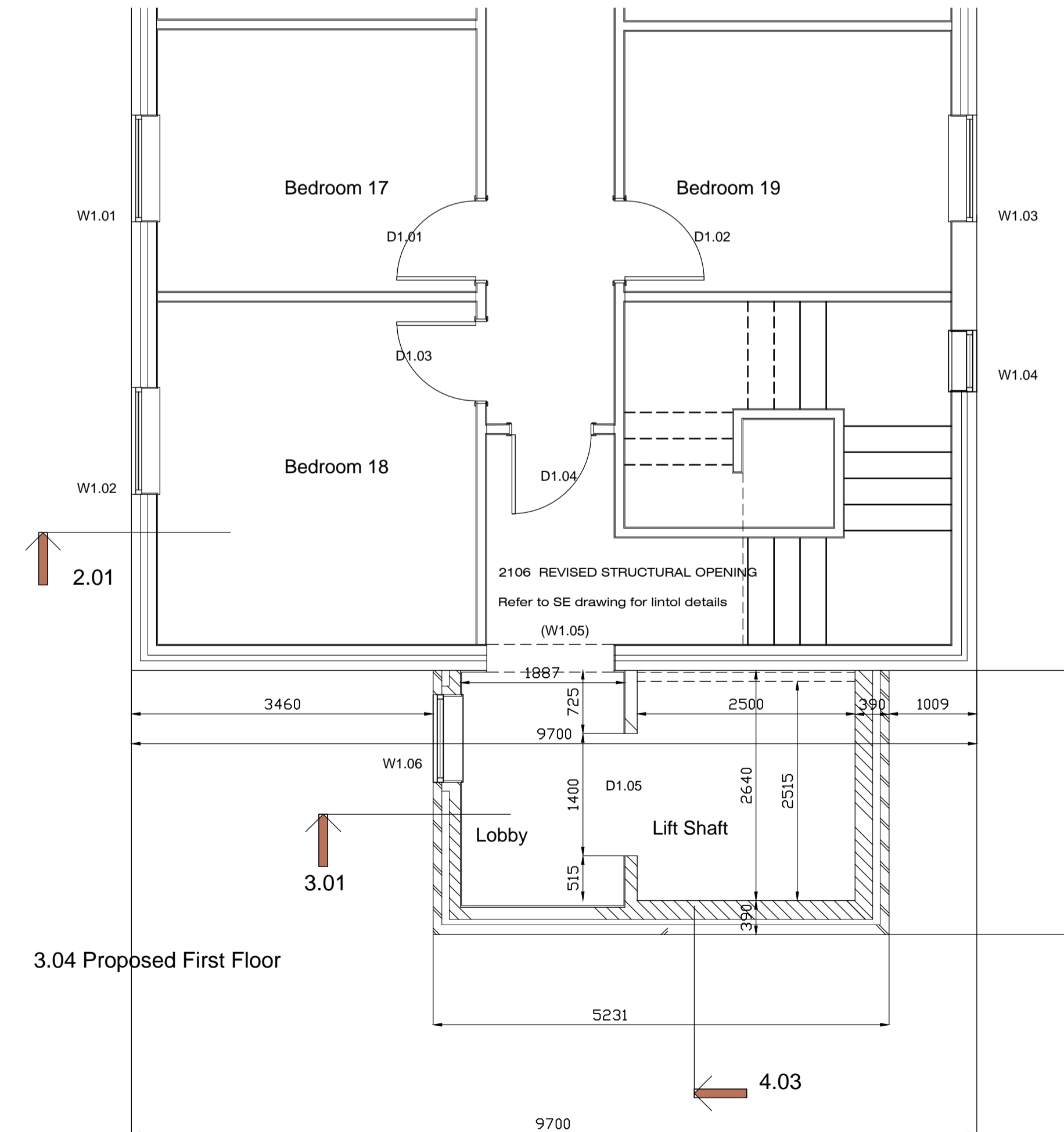
Cavity ties (double triangular pattern to Table 5 BS 5628-1:2005. Maximum horizontal spacing 900mm and 450mm vertical spacing (2.5 ties/m2). Wall ties should also be installed (max 300 vertical c/c) within 225m of all openings and roof verges

2101 NEW EXTERNAL WALLS

Facing brickwork external leaf, colour and texture as existing. 75mm cavity, insulation, blockwork inner leaf (see SE drawing for specification of block (varies). Plasterboard dry-lining as internal finish.

5601 UNDERGROUND RAINWATER DISPOSAL

Locate existing underground surface water drainage installation. Connect new drainage from rainwater collection gullies to existing. Layout of drainage to be determined on site and installed to the complete satisfaction of the Building Control Officer.



3.04 Proposed First Floor

Scale of Metres



Notes

Do not scale, use figured dimensions only.

All dimensions to be verified on site prior to the commencement of any work or the production of any shop drawing. All discrepancies to be reported to the Architect.

This drawing is to be read in conjunction with all related Architect's and Engineer's drawings and any other relevant information.

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date	revision	
10.03.2015	Provisional Issue	
31.03.2015	Notes added for planning application	CMB
10.06.2015	Revised scheme planning observations	CMB
22.06.2015	Building Regs notes added	CMB
24.07.2015	Building Regs notes updated	CMB
27.10.2015	Lift shaft size (for consultation)	JO
19.11.2015	Revised Planning Application	JO

Existing Materials (for external fabric)
 External Walls: Facing brickwork (red brown) with soldier course bands and soldier course details to windows.
 Roof: Profiled concrete roofing tiles (dark grey)
 Windows: White (self coloured) UPVC
 Doors: White (self coloured) UPVC

Proposed Materials (for external fabric)
 External Walls: Facing brickwork (red brown) with soldier course bands colour and texture as existing facing brickwork
 Soldier course details to windows.
 Roof: Profiled concrete roofing tiles (dark grey) colour and texture as existing roof materials.
 Windows: White (self coloured) UPVC
 Doors: White (self coloured) UPVC

Maximum U Values of External Fabric	W/m2/degC
External Walls	0.28
Cold Roof (insulation at ceiling level)	0.16
Ground Floor	0.22
Window Installation (overall)	1.6
External Doors (overall)	1.8

All new doors and windows to be fitted by FENSA registered installer. Manufacturers literature to be provided for all insulation products incorporated in the above elements to demonstrate that the specified energy performance will be achieved.

DWA ARCHITECTS

PLANNING ISSUE



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 1 St Mary's Court
 York
 YO24 1AH
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 Facsimile 01904 544449
 Email york@dwa-architects.co.uk
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Client

BUPA

Project
Burrwood Bury

Drawing Title
Proposed Plans, Section and Elevation

Scale 1:50 @ A1 Date 10.03.2015
 Drawn by CMB Checked by CS

Job No. B5138 Drawing No. AL(0)03 Rev. F

Ward: Radcliffe - East

Item 05

Applicant: Great Places Housing Association

Location: Site of Civic Centre, Thomas Street/New Church Street, Radcliffe, M26 2UD

Proposal: Demolition of existing Civic Centre and erection of 40 no. dwellings with associated car parking and landscaping

Application Ref: 59600/Full

Target Date: 05/04/2016

Recommendation: Minded to Approve

The application is presented to the Committee as it is a Departure from the Development Plan.

It is recommended that this application is Minded to Approve subject to the signing and completion of an appropriate legal agreement for recreation provision in accordance with Policies RT1/1 (Protection of Recreation Provision in the Urban Area) of the adopted Unitary Development Plan. Should the agreement not be signed and completed within a reasonable period, it is requested that the application be determined by the Development Manager.

The Development Manager has recommended a site visit take place before the Planning Control Committee meeting.

Description

The application site is located in Radcliffe town centre and contains the civic centre building and open space. The civic centre is located to the west of the site and is constructed from brick with a flat roof. The site slopes steeply from New Church Street to Seymour Street and Quarry Street. The land to the east and south of the civic centre is grassed and contains mature trees. There are footpaths throughout the site, which connect New Church Street to Thomas Street and Seymour Street. Vehicular access is taken from Thomas Street or Seymour Street leading to a drop off area in front of the civic building.

There are two car parks located to the south of the site with commercial properties beyond. There is a pub, nursery and car parks to the west of the site and the health centre is located to the east. There are residential properties to the north and St Thomas and St John's Church, which is a grade II listed building is located to the north west.

The proposed development involves the demolition of the civic centre and the erection of 40 dwellings with associated car parking and landscaping. The proposed dwellings would be two storeys in height and would be constructed from buff and contrasting brick, cladding and a tile roof. All of the proposed dwellings would be affordable homes, offering a mix of shared ownership and rented accommodation. Access to the proposed dwellings would be taken from Thomas Street and New Church Street.

Relevant Planning History

23272 - Single storey storeroom at rear of Radcliffe Civic Hall, Thomas Street, Radcliffe. Approved with conditions - 14 September 1989.

01707/E - Proposed demolition of Radcliffe Civic Centre and re-development of site to comprise 38 residential properties at Radcliffe Civic Centre, Thomas Street, Radcliffe. Enquiry completed - 2 December 2015.

Publicity

The neighbouring properties were notified by letter on 6 January 2016 and a press notice was published in the Bury Times on 14 January 2016. Site notices were posted on the site 13 January 2016.

A petition containing 251 signatures has been received, which has raised the following issues:

- Object to the demolition of Radcliffe Civic Suite.
- Object to any development on the Public Open Space land surrounding the building other than as per Bury Unitary Plan and Radcliffe Area Plan RD2.

2 letters have been received from the occupiers of 9 Deansgate and 18 Guiseley Close, which have raised the following issues:

- There is little point in objecting as like many others I believe that it is a fait accompli.
- I want to make it clear that town centre businesses will not be prepared to suffer long term disruption to our trading, especially as we have suffered a year of impeded trading due to United Utilities activities on Church Street West, which we were unable to claim compensation for).
- I expect the Council to ensure the traffic disruption and parking access in and around the site is kept to an absolute minimum.
- The proposal is against the Bury Unitary Development Plan and Radcliffe plan to build houses on this site, which is public open space.
- It appears that no application for a change of use has been made by the planning department to the Council as a whole.
- The Council has failed to produce a business case in support of the proposed borrowing of £10 million towards the proposed new leisure centre/civic centre. There is no evidence presented as part of this application that the demolition of Radcliffe Civic Suite and the disposal of the open public space surrounding the building will automatically lead to the replacement of this iconic and popular public asset in 3 years time.
- The demolition of the civic suite was announced in November 2015. While there is no requirement for the Council to consult members of the public prior to demolishing any Council owned building, given the Housing Development Plan prepared and submitted by the applicant, it is obvious that the demolition of the civic suite will have been part of the discussions that would have taken place between the planning officer and the applicant in preparation for the submission.
- To announce the demolition of the civic suite months in advance of the Planning Control Committee decision regarding this particular planning application does raise serious concerns about the transparency of the whole process and indeed concerns about the ability of members of the committee to remain objective at all times and free to make their own decisions.

The objectors have been notified of the Planning Control Committee meeting.

Consultations

Traffic Section - No objections in principle. Further comments will be reported in the Supplementary Report.

Drainage Section - No objections, subject to the inclusion of conditions relating to surface water drainage.

Environmental Health - Contaminated Land - No objections, subject to the inclusion of conditions relating to contaminated land.

Environmental Health - Air Quality - No objections, subject to the inclusion of condition relating to air quality.

Waste Management - No objections.

Public Right of Way Officer - No objections, subject to the footpaths being closed or diverted.

Designforsecurity - No objections.

United Utilities - No objections, subject to the inclusion of a condition relating to foul and surface water drainage.

GM Ecology Unit - No objections subject to inclusion of condition relating to bats and

replacement trees.

GM Archaeological Advisory Service - Comments awaited.

Unitary Development Plan and Policies

H1/2	Further Housing Development
H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
H4/1	Affordable Housing
H5/1	Area Improvement
EN1/1	Visual Amenity
EN1/2	Townscape and Built Design
EN1/3	Landscaping Provision
EN1/5	Crime Prevention
EN1/7	Throughroutes and Gateways
EN2/3	Listed Buildings
EN6	Conservation of the Natural Environment
EN6/3	Features of Ecological Value
EN7	Pollution Control
EN7/1	Atmospheric Pollution
EN7/2	Noise Pollution
EN7/5	Waste Water Management
EN8	Woodland and Trees
EN8/2	Woodland and Tree Planting
RT1/1	Protection of Recreation Provision in the Urban Area
RT2/2	Recreation Provision in New Housing Development
S1/2	Shopping in Other Town Centres
HT2/4	Car Parking and New Development
HT4	New Development
HT5/1	Access For Those with Special Needs
HT6/2	Pedestrian/Vehicular Conflict
CF1/1	Location of New Community Facilities
TC1/1	Open Space in Town Centres
Area	Green Street/New Church Street
RD2	
SPD1	Open Space, Sport and Recreation Provision
SPD5	DC Policy Guidance Note 5: Affordable Housing
SPD6	Supplementary Planning Document 6: Alterations & Extensions
SPD11	Parking Standards in Bury
NPPF	National Planning Policy Framework

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Principle (Recreation) - Paragraph 74 of the NPPF states that existing open space, sports and recreational buildings and land should not be built upon, unless:

- an assessment has been undertaken clearly finding the facility to be surplus to requirements; or
- the loss would be replaced by equivalent or better provision in terms of quantity and quality in a suitable location; or
- the development is for alternative sports and recreational provision, the needs for which clearly outweigh the loss.

Policy RT1/1 states that development will not be allowed where it would result in the loss of recreation provision in the urban area unless:

- sports and recreation facilities can best be retained and enhanced through the redevelopment of a small part of the site;
- alternative provision of equivalent community benefit is made available; or
- it can be demonstrated that there is an excess of sports pitch provision and public open space in the area, taking account of the recreation and amenity value of such provision.

Policy TC1/1 states that within the town centre, the council will protect identified areas of open space which provide:

- an important element in civic design;
- valuable visual amenity;
- important outlets for recreation;
- valuable wildlife habitats; or
- act as buffers between incompatible uses or provide links between other open land areas.

Area RD2 states that the Council will maintain community facilities and public open space as the predominant land uses within the Green Street/New Church Street area of the town centre. Should the opportunity arise, the Council will also support retailing, business (B1), office and leisure uses on the Opportunity site identified on Green Street.

The site of the grounds surrounding the civic centre are protected recreation space and as such, Policies RT1/1, TC1/1 and Area RD2 of the Unitary Development Plan and Paragraph 74 of the NPPF apply.

The primary use of the civic centre is for community use and would fall within Policy Area RD2. Demolishing and building on this footprint of the building and immediate curtilage would represent a departure from Policy Area RD2. As such, the building and immediate surrounding curtilage land must form part of the planning balance in the assessment and determination of this application and this is discussed further elsewhere in this report.

However, although the building is a community facility and is thereby caught by Policy Area RD2, the building itself does not, in planning policy terms fall within the ambit of being, for example, a 'recreational building', or 'public open space' or similar. By way of background, the building has been the subject of separate decisions, away from the planning process, by the Council's Cabinet that it is to be closed in April 2016 and the land on which it sits and the associated remaining surplus open space land has been allocated for disposal through the appropriate legal processes. Given its imminent closure, the Local Planning Authority concludes that the Civic Centre building itself is surplus to requirements in any event..

Therefore, the building itself should not form part of any requirement to compensate the Council for loss of recreational facility in this respect. Nevertheless, as a community facility, it is considered that it does fall within Policy Area RD2 and any demolition and subsequently rebuilding on the footprint of the building must be considered a departure from Policy Area RD2. The application has been advertised as a departure from the development plan.

In terms of the land outside the footprint of the building, this is clearly recreation land and is considered by the Council, as a landowner, or as the Local Planning Authority, to be public open space. Matters must therefore, turn to the loss of such land being replaced by equivalent or better provision in terms of quantity and quality in a suitable location as required by Policy RT1/1.

This is proposed to be done in two ways as part of the planning application proposals. Firstly, by a financial contribution to compensate for the loss of 0.61 hectares of open space and secondly, by the retention of 0.15 hectares of on-site amenity greenspace within the proposed residential scheme.

The compensatory payment has been calculated at £91,763.53 and is derived from the

Council's own costs of providing new and enhancing existing open space. The applicant has agreed to this contribution, which would be secured by an appropriate legal agreement. In addition to this compensation, the proposals would provide 0.15 hectares of amenity greenspace within the scheme. The retained amenity greenspace would be accessible to both residents of the scheme and the wider general public.

Therefore, it is considered that at the very least equivalent alternative provision of public recreation open space would be made available through the retention of the amenity greenspace and the contribution and that the loss of recreation provision would be replaced by equivalent or better provision in terms of quantity and quality in a suitable location.

Therefore, the proposed development would meet the policy requirements of Policies RT1/1 and TC1/1 of the Bury Unitary Development Plan and the NPPF.

Policy Area RD2 of the Unitary Development Plan also needs to be considered, as this states that "the Council will maintain community facilities and public openspace as the predominant land uses within the Green Street/New Church Street area of the town centre." In terms of open space, the loss in this area would be compensated for as discussed above. In terms of community facilities, the Council has formally announced the closure of the Civic Centre, with further investigation to be given to the development of a combined leisure centre and civic venue on an alternative site on Green Street in Radcliffe. Whilst the proposals would depart from Policy Area RD2, there is no requirement to replace community facilities by the policy, although the Council has indicated a need to do so.

Principle (Housing) - Following revocation of the North West Regional Strategy on 20 May 2013, there is no statutory housing target for Bury. Work has commenced on the Greater Manchester Spatial Framework and this will bring forward a new statutory housing target for the Borough. This will subsequently be incorporated into Bury's future Local Plan.

In the meantime, the National Planning Policy Framework should be treated as a material planning consideration and it emphasises the need for local planning authorities to boost the supply of housing to meet local housing targets in both the short and long term. There is a particular emphasis, as in previous national planning guidance, to identify a rolling five year supply of deliverable housing land.

Policy H1/2 states that the Council will have regard to various factors when assessing a proposal for residential development, including whether the proposal is within the urban area, the availability of infrastructure and the suitability of the site, with regard to amenity, the nature of the local environment and the surrounding land uses.

Policy H4/1 states that the Council will encourage the provision of affordable housing through negotiation, partnership agreements and the identification of land suitable for such purposes. There will be a particular emphasis towards encouraging the development of affordable housing as an integral part of large housing developments.

The site is located within the urban area and there is residential development to the northeast and health centre to the east. The proposed development would not conflict with surrounding land uses. The site contains the civic centre and as such, this area of the site would be previously developed land. The site is located within the town centre and is in a sustainable location with regard to public transport and services. The proposed development would deliver 40 affordable dwellings, which would meet an identified need for 2 and 3 bedroom homes. Therefore, the proposed development would be in accordance with Policy H1/2 and Policy H4/1 of the Bury Unitary Development Plan.

Design, layout and impact upon heritage assets - Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires that in considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority shall have special regard to the desirability of preserving the building or its setting, to any features of special architectural or historic interest which it possesses.

In addition, Paragraph 131 of the NPPF states that when determining applications for heritage assets, local planning authorities should take account of:

- the desirability of sustaining and enhancing the significance of the heritage assets and putting them to viable uses consistent with their conservation;
- the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and
- the desirability of new development making a positive contribution to local character and distinctiveness.

Paragraph 132 of the NPPF states that when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation. The more important the asset, the greater the weight should be. Significance can be harmed or lost through alteration or destruction of the heritage asset or development within its setting. As heritage assets are irreplaceable, any harm or loss should require clear and convincing justification.

The building to be demolished (Radcliffe Civic Centre) is not a listed building and is not on the draft local list. Therefore, the civic centre building is neither a heritage asset and for completeness is not considered to be a non-designated heritage asset.

However, albeit outside of the actual site, the proposed development would be located to the south of a Grade II listed building - St Thomas and St John's Church. Accordingly, whilst the Radcliffe Civic Centre to be demolished is considered neither a designated or non-designated heritage asset, St Thomas and St John's Church, as a listed building, is a heritage asset and therefore the effect of the proposed development on the building or its setting requires due consideration and assessment.

The proposed development would include a mix of semi-detached and terraced dwellings on three levels across the site. The proposed dwellings would be of a modern design and would use a variety of materials, including buff and contrasting brick, cladding and a tile roof. The proposed materials would match or complement the existing materials in the locality.

The proposed development would be modest in terms of the scale and size of the proposed dwellings and would not encroach upon the curtilage of the listed building. As such, the proposed development would not challenge the listed building and would not obstruct views of the church and the spire. The proposed development is located to the south of the New Church Street and maintains the clearly defined separation between the two sites.

The use of a mix of materials and canopies would add visual interest to the elevations and would not be a prominent feature within the streetscene. As such, the proposed development would preserve the Grade II listed building, being St Thomas and St John's Church, and preserve its setting. Therefore, The Council as Local Planning Authority has in its assessment of this proposed development had special regard to the requirements of Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990 and finds the proposed development as being in accordance with Policies H2/1, H2/2, EN1/2 and EN2/3 of the Bury Unitary Development Plan and the relevant parts of the NPPF.

Impact upon surrounding area - All of the proposed dwellings would have a side or rear garden, which would provide a suitable level of private amenity space. A gabion wall would be provided to respond to the levels across the site and would ensure that the private amenity space is useable. There would be space within the rear gardens for bin storage, which would be acceptable. The proposed boundary treatments would include timber fencing, brick wall and railings, which would match the existing boundary treatments in the locality and would be acceptable. Therefore, the proposed development would be in accordance with Policies H2/1 and H2/2 of the Bury Unitary Development Plan and the relevant parts of the NPPF.

Impact upon residential amenity - SPD 6 provides guidance on aspect standards for residential properties and would be relevant in this case

There would be a minimum of 15 metres between plots 7 and 14 and the gable elevation of Nos 1 new Church Walk and 1 New Church Court and there would be 27 metres between the nursery on Cross Street and the gable elevation of plot 1. Both these distances would be in excess of the 13 metre aspect required.

There would be a minimum of 20 metres between the remaining dwellings on New Church Street and plots 5 to 18. There would be a minimum of 41 metres between the proposed dwellings and the properties, which front onto Church Street West. Both these distances would be in excess of the 20 metre aspect.

The remainder of the development would within the site comply with or be in excess of the relevant aspect standard.

Therefore, the proposed development would not have an adverse impact upon the residential amenity of the neighbouring properties and would be compliant with Policies H1/2 and H2/2 of the Bury Unitary Development Plan.

Ecology - An ecological appraisal was submitted as part of the application and confirms that the site is not subject to any statutory or non-statutory designations. A bat survey was undertaken and while the civic centre building is located in reasonable habitat to support bats and being close to the river, it has only low-negligible potential to support a bat roost. In particular, the building has negligible potential to support a significant winter (hibernation) roost, negligible potential to support a significant breeding roost and low potential to support small summer or transitional 'day' roosts. In addition, the trees to be removed to facilitate the proposed development are not of high potential to support bat roosts, although they may have value as a foraging habitat for bats. The Greater Manchester Ecology Unit (GMEU) has no objections, subject to the inclusion of conditions relating to bats, nesting birds and landscaping. Therefore, on the basis of this advice, the proposed development would not cause harm to a protected species and would be in accordance with Policies EN6 and EN6/3 of the Bury Unitary Development Plan and the NPPF.

Trees - There are no Tree Preservation Orders within the site. 111 trees would be removed as a result of the proposed development and 55 trees would be retained. The trees to be removed are a mix of category A, B and C trees, which would include some trees of good and poor quality. The proposed site plan indicates that 81 replacement trees would be planted and all of these trees would be visible from public vantage points. Given that the trees to be retained are located on the perimeter of the site and the provision of the replacement trees, the character of the area would be maintained. Therefore, the proposed development would be in accordance with Policy EN8/2 of the Bury Unitary Development Plan.

Drainage - The site is not located within a flood risk zone. The Drainage Section and United Utilities has no objections to the proposal, subject to a condition relating to SuDs and foul and surface water drainage.

Therefore, the proposed development would not be at risk from groundwater flooding, subject to conditional control and would be in accordance with Policies EN5/1 and EN7/5 of the Bury Unitary Development Plan.

Highways issues - The proposed dwellings would be accessed from New Church Street and a new access road would connect to Thomas Street. Turning heads would be provided and there would be acceptable levels of visibility at the respective junctions. It is envisaged that traffic calming measures would be provided on Thomas Street. The Traffic Section has no objections in principle to the proposed development and further comments will be reported in the Supplementary Report.

Footpaths - The Public Rights of Way (PROW) Officer has confirmed that there are no routes included or identified on the Definitive Map. However, following consultation and consideration during the course of the application, the PROW Officer has reported that there is a surfaced path across the open space to the north east of the civic centre which links Seymour Street to New Church Street. There is also access along the eastern edge of the civic centre linking more directly to the walkway beside St Thomas and St John's Church. The PROW Officer has added that with "the absence of evidence to the contrary, it is likely that these routes have attained the status of public right of way" and that "The two routes would be obstructed by the proposed development and diversion or extinguishment would be required."

The proposed site layout plan indicates that these footpaths would need to be stopped up or diverted as a result of the proposed development. However, access would be upheld along a path between the identified plot 1 and the nursery, along Thomas Street and along the proposed access road and as such, the access would be maintained. Other than what has been identified, the PROW Officer has no objections in principle to the proposal provided that the appropriate processes to stop-up or divert the footpaths are undertaken.

Parking - SPD11 states that the maximum number of parking spaces is 1.5 spaces per 2 bed dwelling and 2 spaces per 3 bed dwelling. This equates to 72 spaces.

The proposed development would provide 48 spaces for 40 dwellings with at least 1 space per each dwelling. The site is located in Radcliffe town centre and is identified as a high access area in SPD11. The site has good access to services, shops and public transport. As such, the level of parking provision and not providing the maximum provision would be acceptable in this instance. Therefore, the proposed development would be in accordance with Policy HT2/4 of the Bury Unitary Development Plan and SPD11.

Planning obligations - A payment (£91,763.53) to compensate for the loss of recreation provision in accordance with Policy RT1/1 of the Unitary Development Plan and the NPPF. This sum of money shall be spent on new recreational provision and enhancement of existing recreational provision in Radcliffe town centre and on the following projects:

- Land fronting Coney Green High School (new provision)
- Banana path
- St Thomas churchyard
- Pilkington Way (west)
- Pilkington Way (east)
- Festival gardens

An off-site contribution towards the enhancement of recreation space would normally be required in accordance with Policy RT2/2 of the Bury Unitary Development Plan and SPD1. However, there may be some cases where on-site provision may be preferable in exceptional circumstances and where justified by the individual merits of a site. It is considered that the on-site provision of 0.15 hectares of open space would be acceptable as the retention of the amenity greenspace is important in terms of compliance with Policies RT2/2 and TC1/1. Also, the land would represent useable and functional open space, which would be appropriate in size and shape for the proposed development.

Conclusion - The key planning issues to consider as part of the planning balance are the:

- loss of recreation provision;
- loss of the civic centre building; and
- the provision of housing and 100% affordable housing to come forward as part of the proposed development.

The report above has assessed all of the planning issues including the loss of and re-provision of recreation/open space provision, the loss of the civic centre building and the provision of 100% affordable housing and in balancing these issues against planning policy locally and nationally, it is considered reasonable to recommend approval to the proposed development.

Response to objectors

A condition (13) requiring a construction management plan to deal with traffic and parking of operatives would be included on any subsequent grant of planning consent.

The report above assesses the proposal against the relevant policies of the Bury UDP and NPPF. The proposed development, subject to the relevant conditions and appropriate legal agreement, would be in accordance with the Bury Unitary Development Plan and the NPPF.

The planning department would not apply to the council to change the use of the land. It's role is to process and determine planning applications, including those which are submitted to the council.

The planning application before the Local Planning Authority is for the demolition of the civic centre and the redevelopment of the site for residential development. The proposed leisure centre/civic centre would be the subject of a separate planning application, which would be on a different and separate site. As such, this is not material to the current application.

The Local Planning Authority had no involvement in the decision to close the civic centre. That is a separate decision following a separate legal process for the Council as landowner. The role of the Local Planning Authority is to process and determine planning applications only and issue quasi-judicial decisions. Other Council functions are not material planning considerations and as such, there is no conflict of interest. A pre-application enquiry was undertaken by the applicant and this was completed on 2 December 2015 and is encouraged by the Town and Country Planning (Development Management Procedure) (England) Order 2015 and the NPPF.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The proposal would improve the economic, social and environmental conditions of the area. It therefore comprises sustainable development and the Local Planning Authority worked proactively and positively to issue the decision without delay. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

Recommendation: Minded to Approve

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered 14-009/01 A, 14-009/02 A, 14/009-03 A, 14-009/04, 14-009/05, 14-009/06, 14-009/07, 14-009/09, 14-009/10, 14-009/11, 14-009/12, 14-009/14 A, 14-009/20, 14-009/21 A, 14-009/30, 14-009/31, 060714JC-01, Arbtech TCP 01 and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. No development, other than demolition, shall commence unless or until details/samples of the (materials/bricks) to be used in the external elevations, together with details of their manufacturer, type/colour and size, have been submitted to and approved in writing by the Local Planning Authority. Only the approved materials/bricks shall be used for the construction of the development.

Reason. No material samples have been submitted and are required in the interests of visual amenity and to ensure a satisfactory development pursuant to UDP Policy EN1/1 Visual Amenity.

4. No development, other than demolition, shall commence unless and until:-
- A contaminated land Preliminary Risk Assessment report to assess the actual/potential contamination and/or ground gas/landfill gas risks at the site shall be submitted to, and approved in writing by, the Local Planning Authority;
 - Where actual/potential contamination and/or ground gas/landfill gas risks have been identified, detailed site investigation and suitable risk assessment shall be submitted to, and approved in writing by the Local Planning Authority;
 - Where remediation/protection measures is/are required, a detailed Remediation Strategy shall be submitted to, and approved in writing by, the Local Planning Authority.

Reason. The scheme does not provide full details of the actual contamination and subsequent remediation, which is required to secure the satisfactory development of the site in terms of human health, controlled waters, ground gas and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

5. Following the provisions of Condition 4 of this planning permission, where remediation is required, the approved Remediation Strategy must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

6. Following the provisions of Condition 4 of this planning permission, where ground gas remediation / protection measures are required, the approved Remediation Strategy must be carried out to the written satisfaction of the Local Planning Authority within approved timescales; and A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.

Reason. To alleviate any possible risk associated with the production of landfill gas and ground gas in accordance with the recommendations of the Environment Agency and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

7. No development, other than demolition works, shall commence unless or until a scheme for the disposal of foul drainage has been submitted to and approved in writing by the Local Planning Authority. Such a scheme shall be constructed and completed in accordance with the approved plans prior to occupation of the dwellings hereby approved.

Reason: To ensure a satisfactory means of drainage pursuant to Policy EN7/5 - Waste Water Management of the Bury Unitary Development Plan.

8. No development, other than demolition, shall commence unless or until details of a scheme for the disposal of surface water drainage have been submitted to and approved in writing by the Local Planning Authority. The proposed scheme must be based on the hierarchy of drainage options in the National Planning Practice Guidance and be designed in accordance with the Non-Statutory Technical Standards for Sustainable Drainage Systems (March 2015). This must include

assessment of potential SuDs options for surface water drainage with appropriate calculations and test results to support the chosen solution. Details of the proposed maintenance arrangements must be provided. Only the approved scheme shall be implemented prior to occupation of the dwellings hereby approved.

Reason. No details of the drainage have been submitted and to ensure a satisfactory means of drainage pursuant to Policy EN7/5 - Waste Water Management of the Bury Unitary Development Plan.

9. The demolition works shall be carried out in accordance with the recommendations of the Bat survey by Arbtech, dated 3 November 2015. If the demolition works are delayed beyond the end of April, a survey to establish whether the buildings are utilised by bats and a programme of mitigation shall be submitted to and approved in writing by the Local Planning authority prior to any demolition works commencing. All mitigation measures shall be fully implemented prior to the commencement of the works and remain in situ on the site for an agreed period of time.

Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and Section 11 of the National Planning Policy Framework.

10. No works of any kind shall be carried out to trees unless and until a survey commissioned by a suitably qualified person to establish that the trees are not being used by nesting birds, has been submitted to and approved in writing by the Local Planning Authority. Where such approval is provided in writing by the Local Planning Authority, then any works subsequently undertaken shall for the purposes of this condition 10 relate only to those trees identified as part of the survey approved and further survey by a suitably qualified person shall be required in relation to any trees where works have not taken place within a period of six months of such approval or where any nesting birds may subsequently have become present.

Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

11. No development, other than demolition, shall be carried out unless or until a landscaping scheme, including details of replacement trees, has been submitted to and approved in writing by, the Local Planning Authority. It shall be implemented not later than 12 months from the date the building(s) is first occupied; and any trees or shrubs removed, dying or becoming severely damaged or becoming severely diseased within five years of planting shall be replaced by trees or shrubs of a similar size or species to those originally required to be planted to the written satisfaction of the Local Planning Authority.

Reason. To secure the satisfactory development of the site and in the interests of visual amenity pursuant to Policy EN1/2 - Townscape and Built Design and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan.

12. All trees to be retained on site shall be protected in accordance with BS 5837:2012 "Trees in relation to design, demolition and construction". The development shall not commence unless and until the measures required by the British Standard are implemented and all measures required shall remain in situ until the development has been completed.

Reason. To avoid the loss of trees which are of amenity value to the area pursuant to Policy EN1/2 - Townscape and Built Design and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan.

13. No development shall commence unless and until a 'Construction Traffic

Management Plan' (CTMP), has been submitted to and approved in writing by the Local Planning Authority and shall confirm/provide the following:

- Access route for construction traffic from the highway network;
- Hours of operation and number of vehicle movements;
- Arrangements for the turning and manoeuvring of vehicles within the curtilage of the site;
- Parking on site of operatives' and construction vehicles together with storage on site of construction materials.

The approved plan shall be adhered to throughout the construction period and the measures shall be retained and facilities used for the intended purpose for the duration of the construction period. The areas identified shall not be used for any other purposes other than the turning/parking of vehicles and storage of construction materials

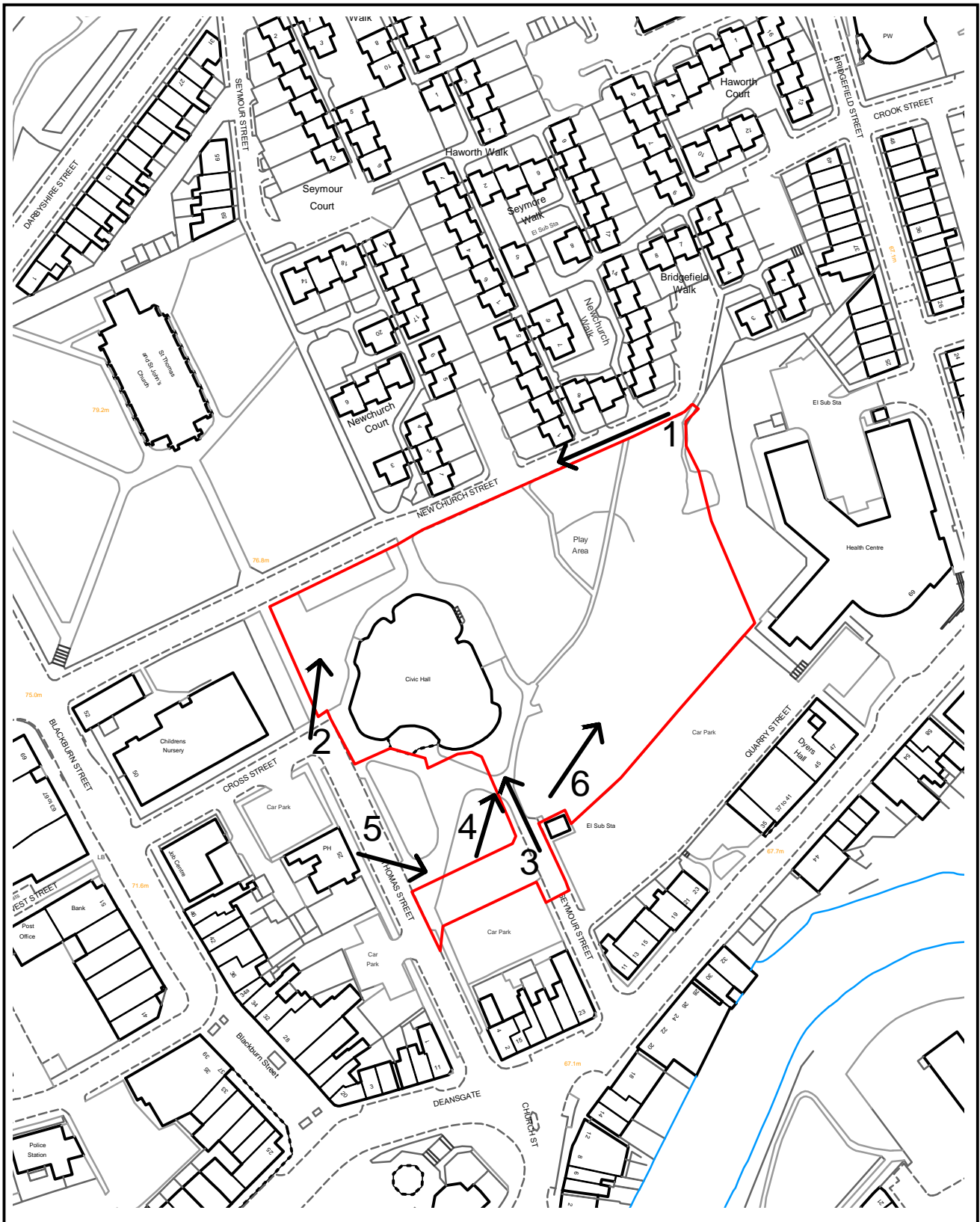
Reason. No information has been provided and to mitigate the impact of the construction traffic generated by the proposed development on the adjacent residential streets and ensure adequate off street car parking provision and materials storage arrangements for the duration of the construction period, in the interests of highway safety pursuant to the following Policies of the Bury Unitary Development Plan:

Policy H2/1 - The Form of New Residential Development

Policy H2/2 - The Layout of New Residential Development.

For further information on the application please contact **Helen Longworth** on **0161 253 5322**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 59600

**ADDRESS: Site of Civic Centre, Thomas Street
Radcliffe**

Planning, Environmental and Regulatory Services

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59600

Photo 1



Photo 2



59600

Photo 3



Photo 4



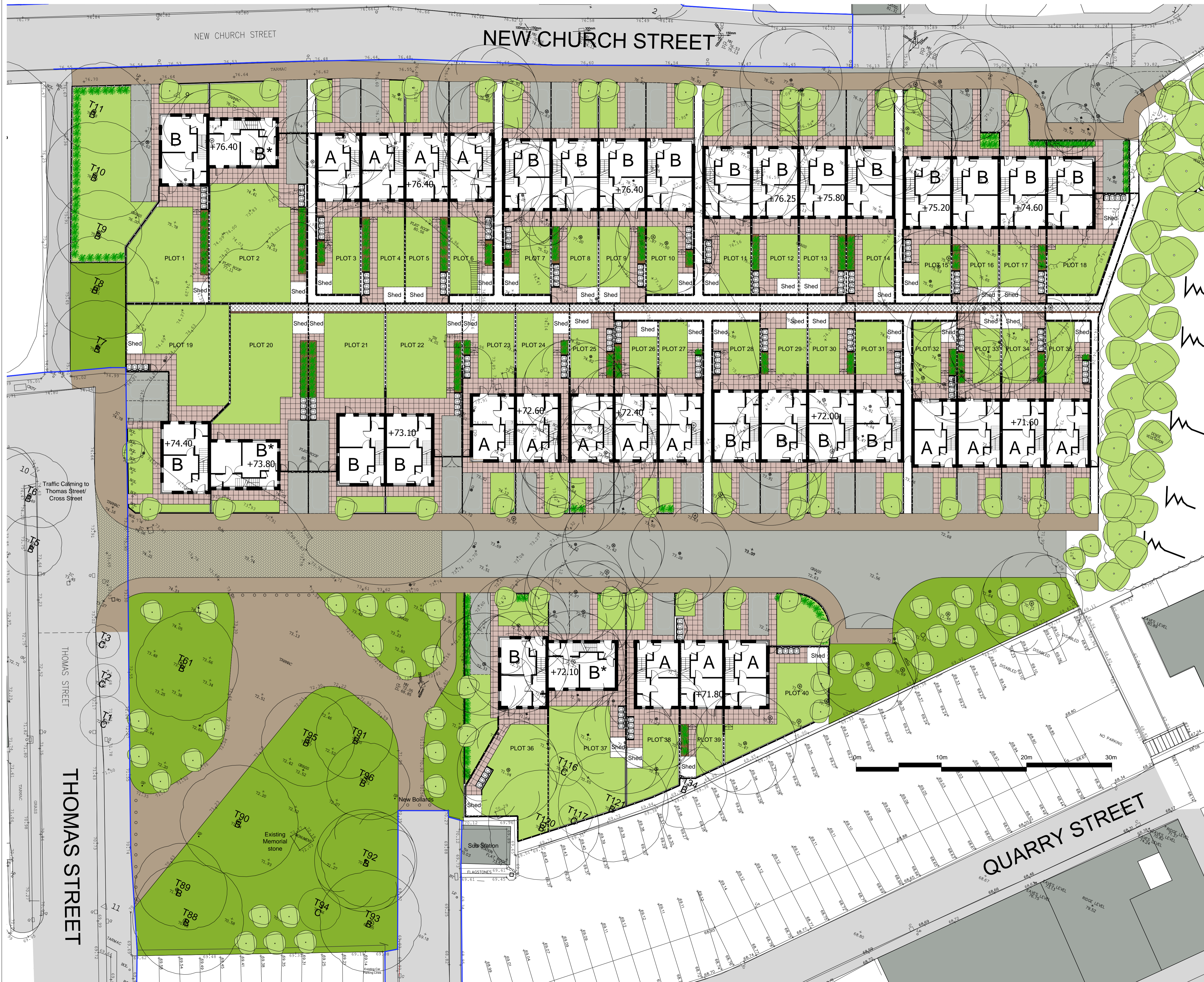
59600

Photo 5



Photo 6





NOTES:
 ● THE CONTRACTOR IS RESPONSIBLE FOR CHECKING DIMENSIONS, TOLERANCES & REFERENCES. ANY DISCREPANCY TO BE VERIFIED WITH THE ARCHITECT BEFORE PROCEEDING WITH THE WORKS.
 ● WHERE AN ITEM IS COVERED BY DRAWINGS OF DIFFERENT SCALES, THE LARGER SCALE DRAWING TO BE WORKED TO.
 ● DO NOT SCALE FROM THE DRAWING. FIGURED DIMENSIONS TO BE WORKED TO IN ALL CASES.
 ● THIS DRAWING TO BE READ IN CONJUNCTION WITH:

- KEY**
- Extent of existing adopted highway
 - Existing roads & footpaths (including unadopted)
 - New/widened roads to adoptable standards
 - Shared Pedestrian/Vehicular Surface
 - New/upgraded footpaths
 - Existing Tree Retained
 - New Tree
 - Grass
 - Landscaped Public Open Space
 - Large format concrete paving slabs to front, side & rear of plots
 - Planting to soften front/ rear boundaries
 - Planting beds within rear gardens
 - Bin Location
 - Gabion Retaining Wall

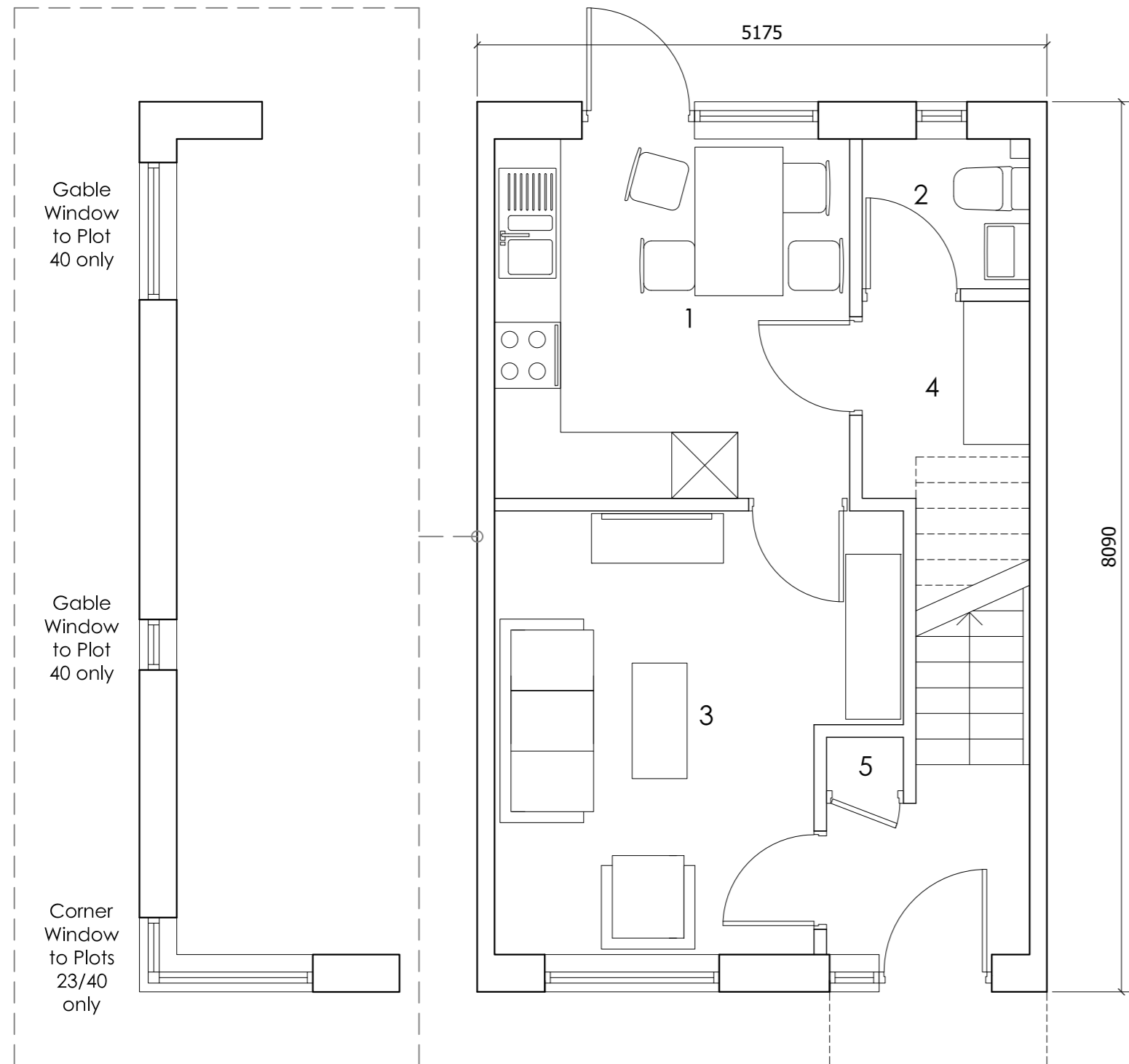
ACCOMMODATION SCHEDULE

16No. Type A 2B4P House (72.1m²)

24No. Type B 3B5P House (82.6m²)

Rev	Date	By
Client: Great Places		
Project: New Church St, Radcliffe		
Description: Detailed Site Layout Topographical Survey Overlay		
Purpose of issue: Planning		
Drawn by: BPM	Checked by: MM	Scale: 1.200@A1
Date: Feb 2016	Project No: 14-009	Drawing No: Rev: 09

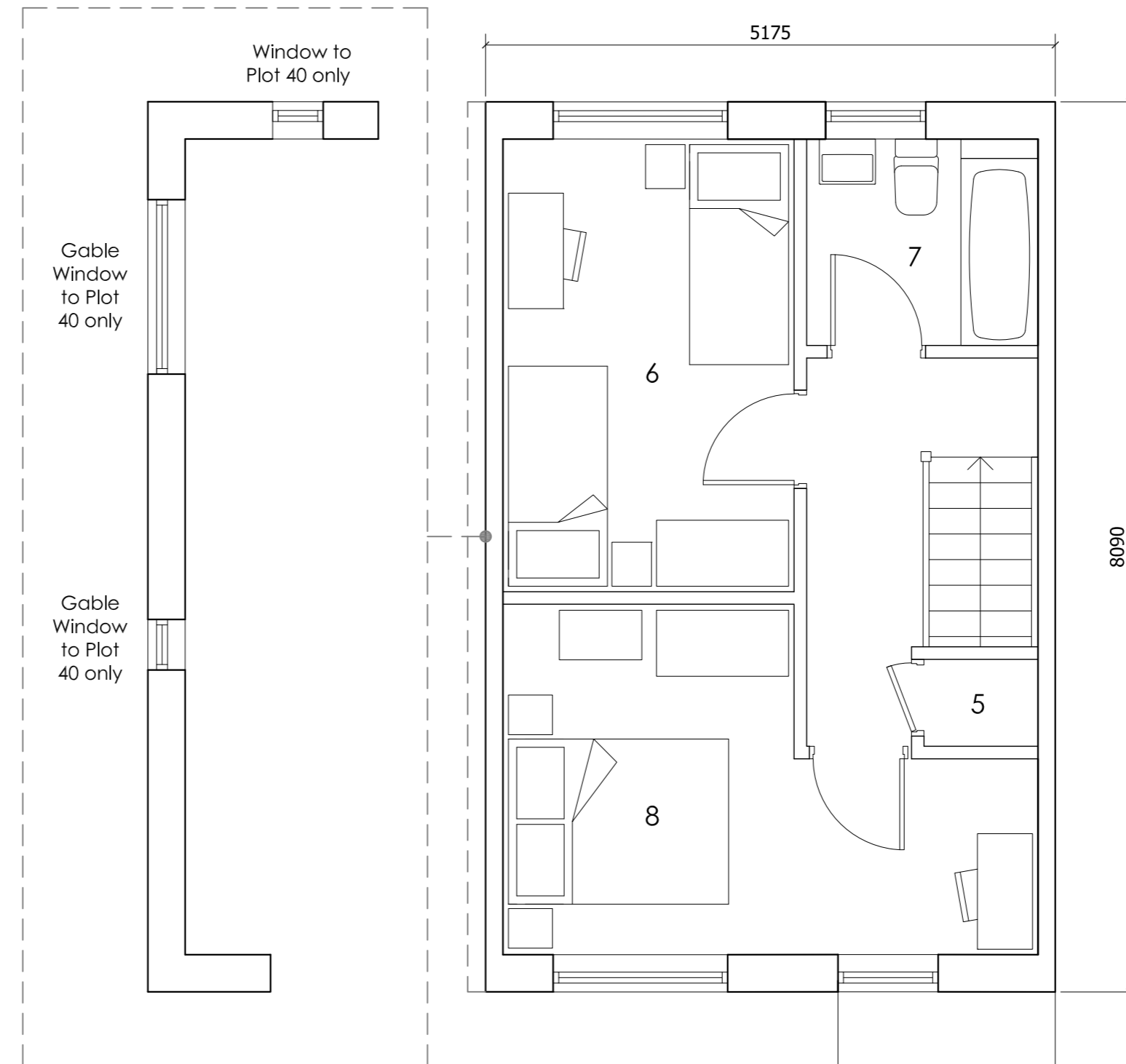
- NOTES:
- THE CONTRACTOR IS RESPONSIBLE FOR CHECKING DIMENSIONS, TOLERANCES & REFERENCES. ANY DISCREPANCY TO BE VERIFIED WITH THE ARCHITECT BEFORE PROCEEDING WITH THE WORKS.
 - WHERE AN ITEM IS COVERED BY DRAWINGS OF DIFFERENT SCALES, THE LARGER SCALE DRAWING TO BE WORKED TO. DO NOT SCALE FROM THE DRAWING. FIGURED DIMENSIONS TO BE WORKED TO IN ALL CASES.
 - THIS DRAWING TO BE READ IN CONJUNCTION WITH:



Housetype A (2 Bedroom 4 Person)
Ground Floor Plan (Internal Area 36.0m²)

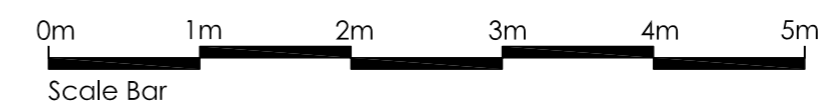
- 1 Kitchen/Dining
- 2 W/C
- 3 Living
- 4 Utility
- 5 Store

Total Area: 72.1m²



Housetype A (2 Bedroom 4 Person)
First Floor Plan (Internal Area 36.0m²)

- 6 Bedroom 2
- 7 Bathroom
- 8 Master Bedroom



Rev _____ Date _____ By _____

Client: _____

Great Places

Project: _____

New Church Street Development
Radcliffe

Description: _____

Housetype A Floor Plans

Purpose of issue: _____

Planning

Drawn by: _____ Checked by: _____ Scale: _____

MRT BPM 1.50@A2

Date: _____ Project No: _____ Drawing No: _____ Rev: _____

Nov 2015 14-009 05





Corner Window Variant (Plots 23 & 40)



Plot 23 Variant

Proposed Facing Materials

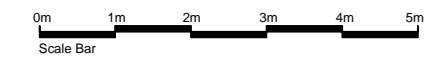
- 1: Buff brick
- 2: Contrasting brick
- 3: Marley Eternit Cedral weatherboard cladding
- 4: Concrete Marley Eternit Edgemere roof tiles (or similar)
- 5: uPVC grey windows/ fascia/ soffits (RAL 7016)
- 6: Metal cladding to canopy
- 7: Timber composite entrance door
- 8: uPVC grey glazed door (RAL 7016)
- 9: Opaque look-alike glazing panel.
- 10: uPVC rainwater goods (black RAL 9005)
- 11: External Lighting - photoelectric (dawn-to-dusk) cell with manual override to all entrances



Plot 40 Variant



Plot 40 Variant

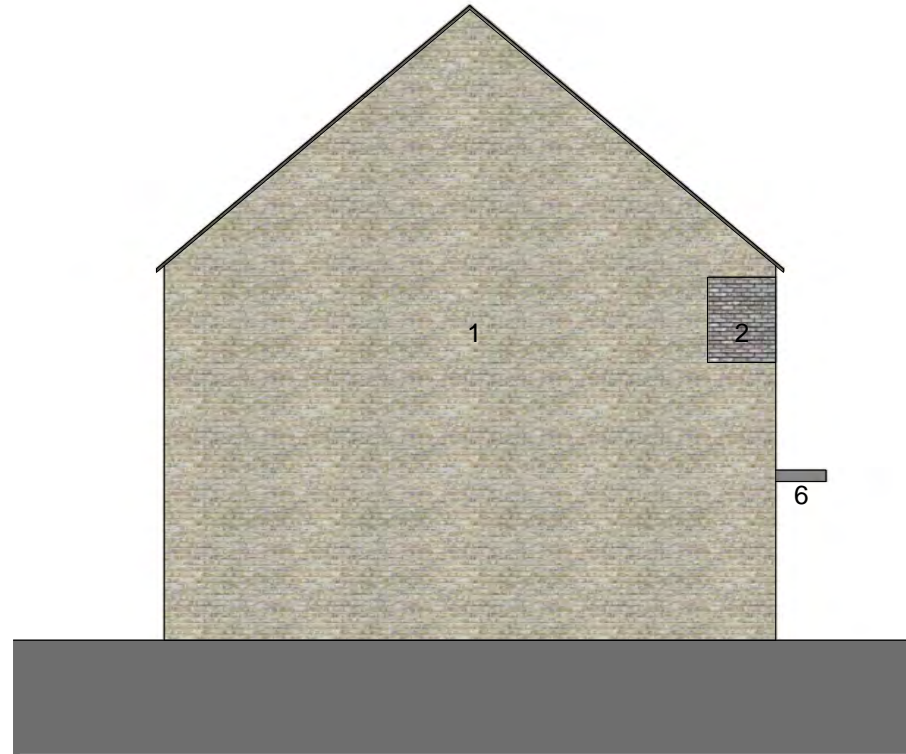


PLANNING

Rev:	Date:	By:	Remarks:	Client:	Project:	Scale:	Description:
				Great Places Housing Group	New Church Street, Radcliffe	1:100 @ A3	Type A Elevation Variants
				<p>Manchester office: Raven House, 113 Fairfield Street, Manchester, M12 6EL. Tel: 0161 272 3500 Fax: 0161 272 3501 Liverpool office: Lower Ground Floor, 28A Rodney Street, Liverpool, L1 2TQ. Tel: 0151 708 9708 Fax: 0151 708 9709 studio@triangle-architects.ltd.uk www.triangle-architects.ltd.uk</p>	Drawn: MM	Project/Drawing No.	Rev.
					Checked: BPM	14-009/11	



Typical Front Elevation
(See drawing 14-009/11 for Plot 23 & 40 variants)



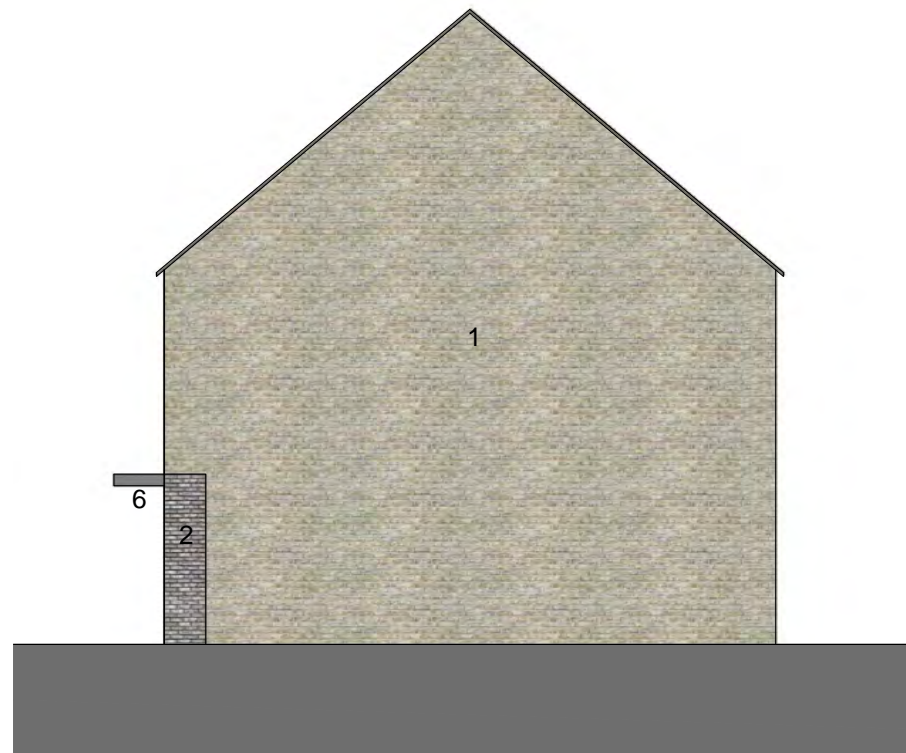
Typical Side Elevation
(See drawing 14-009/11 for Plot 40 variant)

Proposed Facing Materials

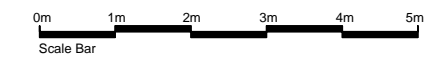
- 1: Buff brick
- 2: Contrasting brick
- 3: Marley Eternit Cedral weatherboard cladding
- 4: Concrete Marley Eternit Edgemere roof tiles (or similar)
- 5: uPVC grey windows/ fascia/ soffits (RAL 7016)
- 6: Metal cladding to canopy
- 7: Timber composite entrance door
- 8: uPVC grey glazed door (RAL 7016)
- 9: Opaque look-alike glazing panel.
- 10: uPVC rainwater goods (black RAL 9005)
- 11: External Lighting - photoelectric (dawn-to-dusk) cell with manual override to all entrances



Typical Rear Elevation
(See drawing 14-009/11 for Plot 23 variant)

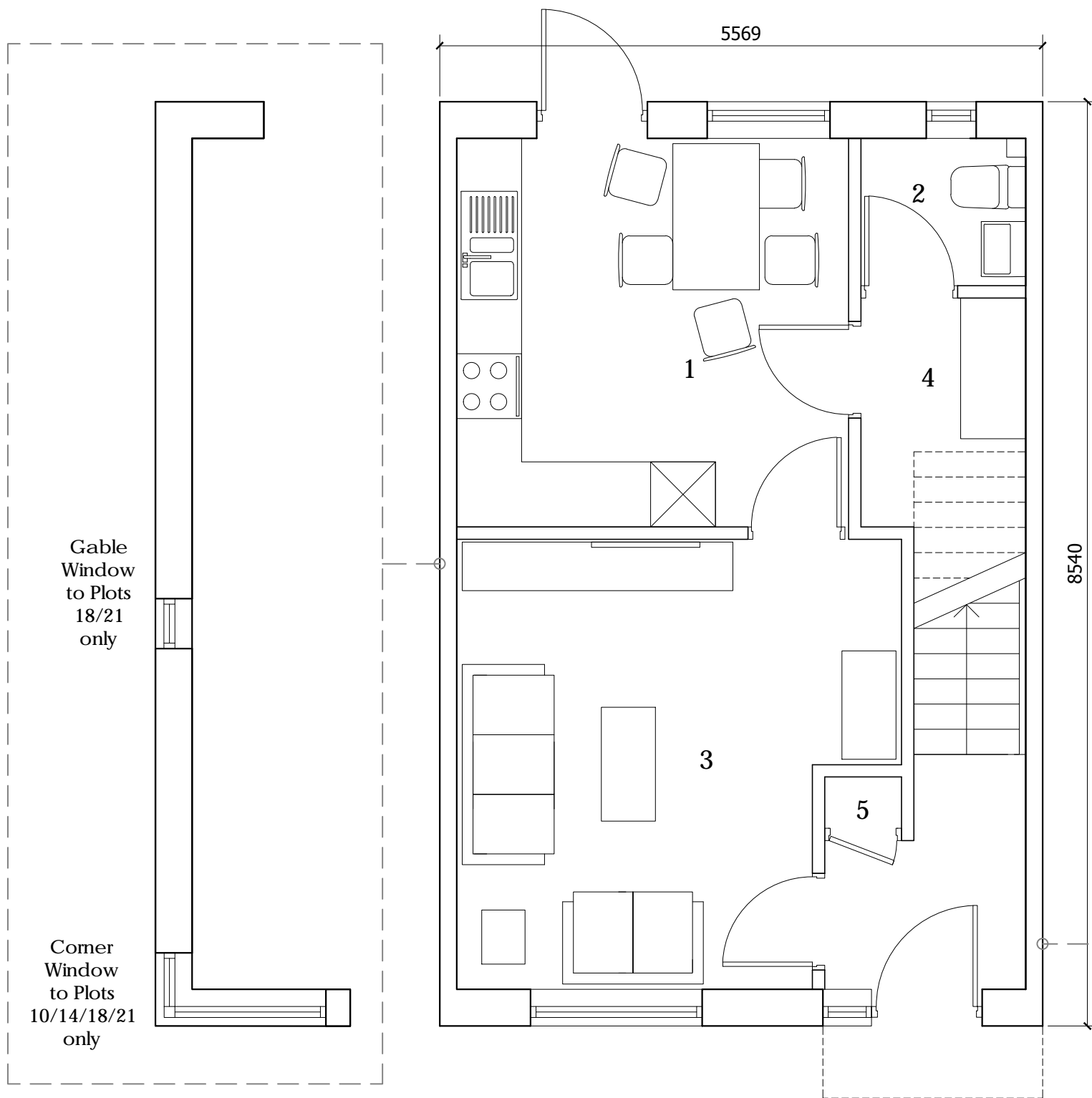


Typical Side Elevation
(See drawing 14-009/11 for Plot 40 variant)



PLANNING

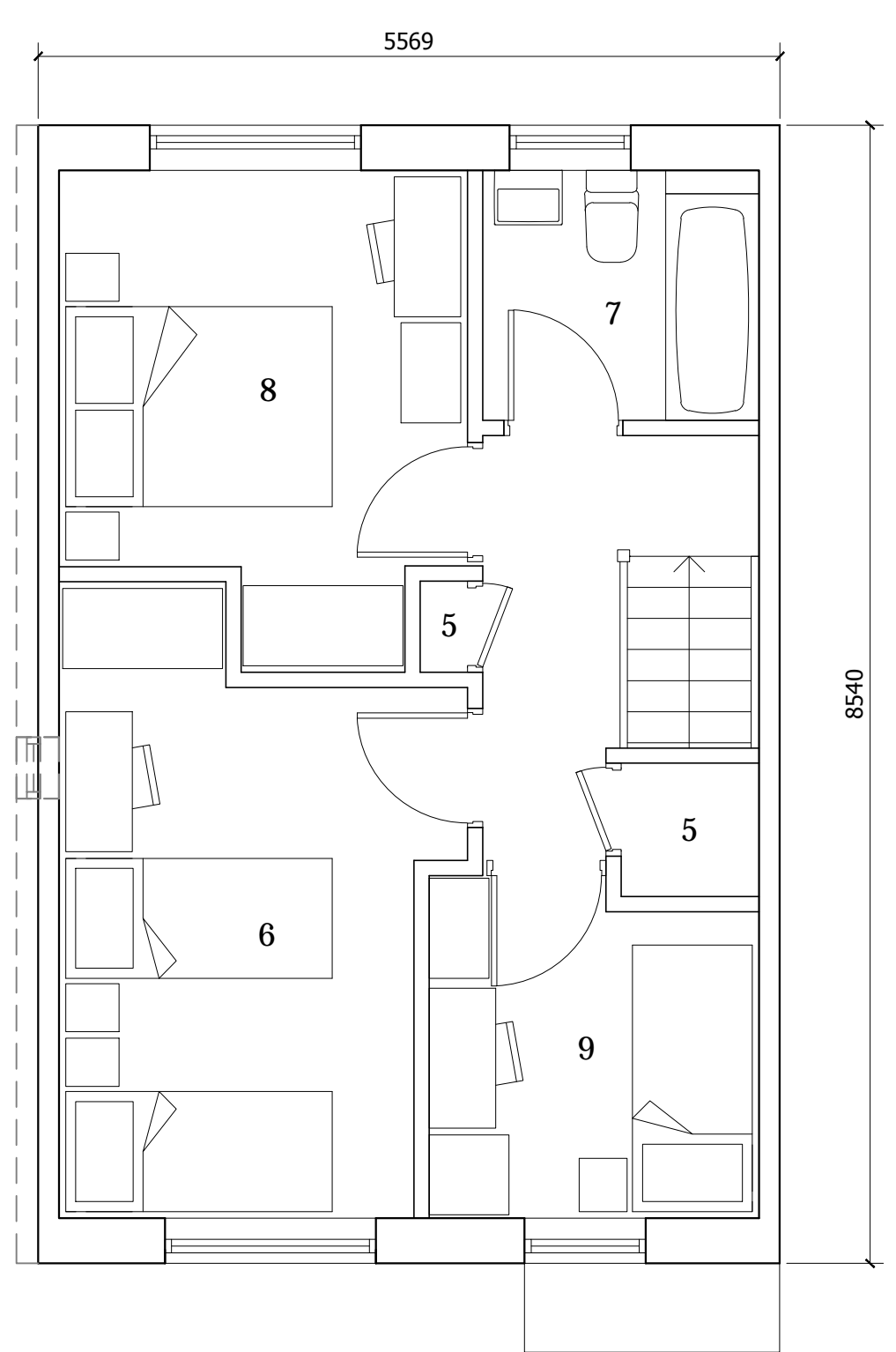
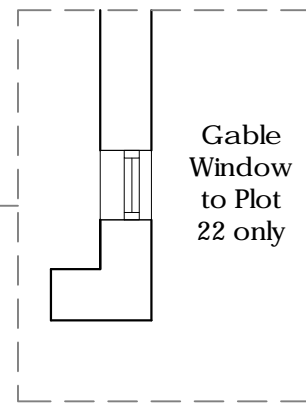
Rev:	Date:	By:	Remarks:	Client: Great Places Housing Group	Project: New Church Street, Radcliffe	Scale: 100@A3	Description: Housetype A Elevations	
					<small>Manchester office: Raven House, 113 Fairfield Street, Manchester, M12 6EL Tel: 0161 272 3500 Fax: 0161 272 3501 Liverpool office: Lower Ground Floor, 28A Rodney Street, Liverpool, L1 2TQ Tel: 0151 708 9708 Fax: 0151 708 9709 studio@triangle-architects ltd.uk www.triangle-architects ltd.uk</small>	Date: Dec 2015	Project/Drawing No. 14-009/10	Rev.
						Drawn: MM	Checked: BPM	



Housetype B (3 Bedroom 5 Person)
; fci bX: `ccfDUb`fbhYfbU`5fYU`(%`a £

- 1 Kitchen/Dining
- 2 W/C
- 3 Living
- 4 Utility
- 5 Store

H`HU`5fYU.; &`*a



Housetype B (3 Bedroom 5 Person)
: fgi: `ccfDUb`fbhYfbU`5fYU`(%`a £

- 6 Bedroom 2
- 7 Bathroom
- 8 Master Bedroom
- 9 Bedroom 3



Rev:	Date:	By:	Remarks:

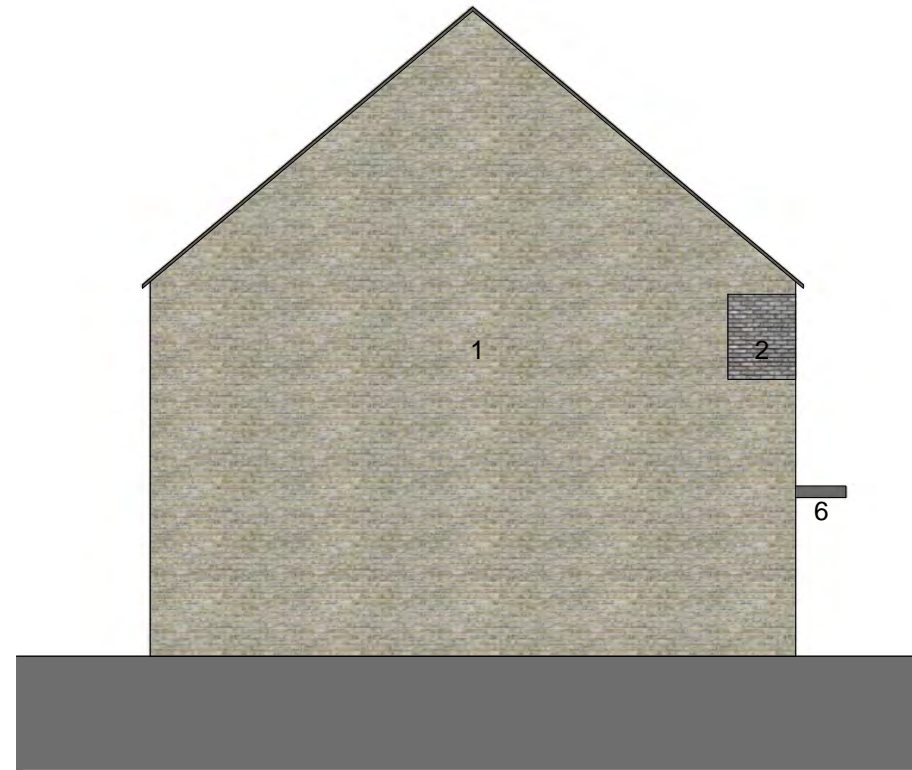
Client: Great Places Housing Group	Project: New Church Street, Radcliffe	Scale: 1.50@A3 Date: Nov 2015	Description: Housetype B Floor Plans
		Drawn: MRT Checked: BPM	Project/Drawing No. 14-009/06
<small>Manchester office: Raven House, 113 Fairfield Street, Manchester, M12 6EL Tel: 0161 272 3500 Fax: 0161 272 3501 Liverpool office: Lower Ground Floor, 28A Rodney Street, Liverpool, L1 2TQ Tel: 0151 708 9708 Fax: 0151 708 9709 studio@triangle-architects.td.uk www.triangle-architects.td.uk</small>			Rev.

Proposed Facing Materials

- 1: Buff brick
- 2: Contrasting brick
- 3: Marley Eternit Cedral weatherboard cladding
- 4: Concrete Marley Eternit Edgemere roof tiles (or similar)
- 5: uPVC grey windows/ fascia/ soffits (RAL 7016)
- 6: Metal cladding to canopy
- 7: Timber composite entrance door
- 8: uPVC grey glazed door (RAL 7016)
- 9: Opaque look-alike glazing panel.
- 10: uPVC rainwater goods (black RAL 9005)
- 11: External Lighting - photoelectric (dawn-to-dusk) cell with manual override to all entrances



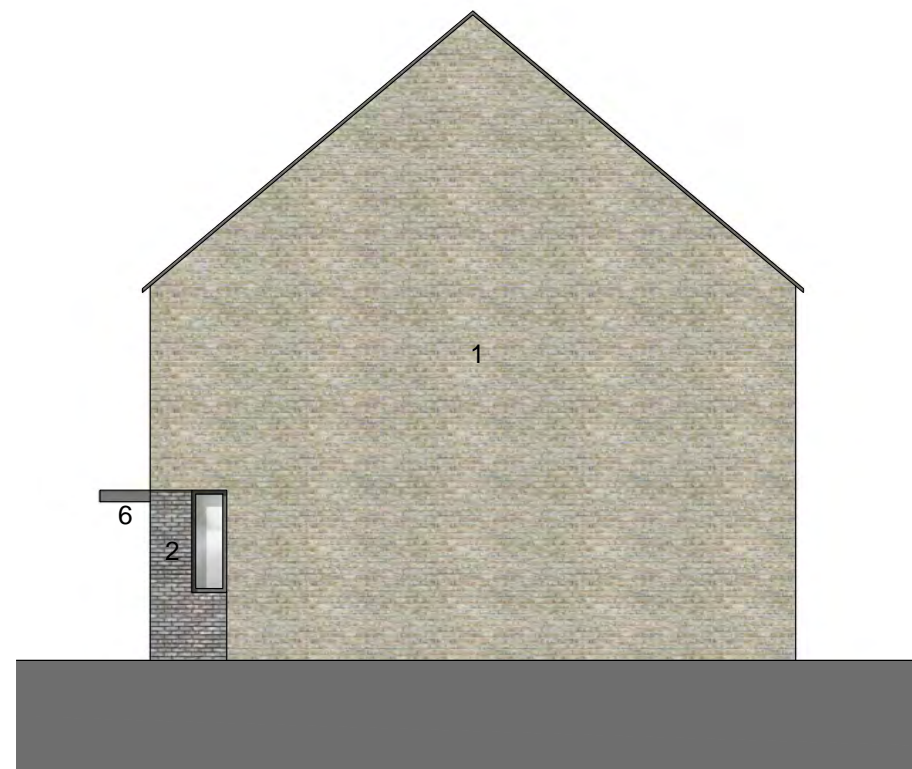
Typical Front Elevation
(See drawing 14-009/13 for Plot 10, 14, 18 & 21 variants)



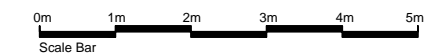
Typical Side Elevation
(See drawing 14-009/13 for Plot 10, 14, 18 & 21 variants)



Typical Rear Elevation



Typical Side Elevation

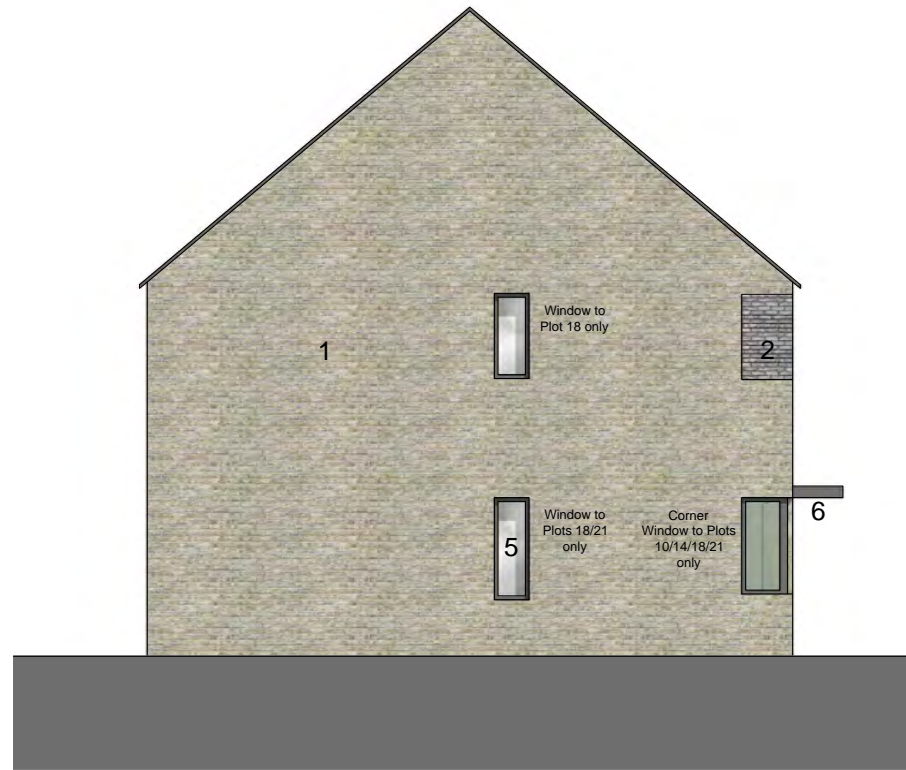


PLANNING

Rev:	Date:	By:	Remarks:	Client: Great Places Housing Group	Project: New Church Street, Radcliffe	Scale: 1:100 @ A3	Description: Housetype B Elevations
				<p>Manchester office: Raven House, 113 Fairfield Street, Manchester, M12 6EL. Tel: 0161 272 3500 Fax: 0161 272 3501 Liverpool office: Lower Ground Floor, 28A Rodney Street, Liverpool, L1 2TQ. Tel: 0151 708 9708 Fax: 0151 708 9709 studio@triangle-architects.ltd.uk www.triangle-architects.ltd.uk</p>	Date: Dec 2015	Project/Drawing No. 14-009/12	Rev.
					Drawn: MM	Checked: BPM	



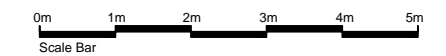
Corner Window Variant (Plots 10, 14, 18 & 21)




Gable Window Variants (Plots 10, 14, 18 & 21)

Proposed Facing Materials

- 1: Buff brick
- 2: Contrasting brick
- 3: Marley Eternit Cedral weatherboard cladding
- 4: Concrete Marley Eternit Edgemere roof tiles (or similar)
- 5: uPVC grey windows/ fascia/ soffits (RAL 7016)
- 6: Metal cladding to canopy
- 7: Timber composite entrance door
- 8: uPVC grey glazed door (RAL 7016)
- 9: Opaque look-alike glazing panel.
- 10: uPVC rainwater goods (black RAL 9005)
- 11: External Lighting - photoelectric (dawn-to-dusk) cell with manual override to all entrances



PLANNING

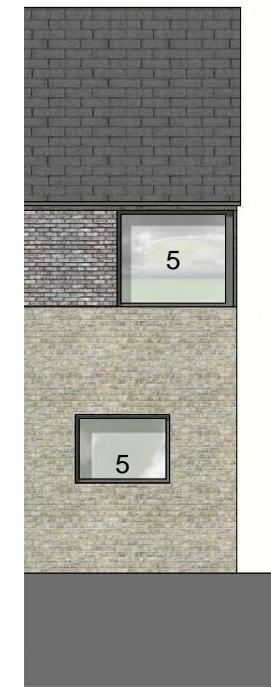
Rev:	Date:	By:	Remarks:	Client: Great Places Housing Group	Project: New Church Street, Radcliffe	Scale: 1:100 @ A3	Description: Type B Elevation Variants
				 <p>Manchester office: Raven House, 113 Fairfield Street, Manchester, M12 6EL Tel: 0161 272 3500 Fax: 0161 272 3501 Liverpool office: Lower Ground Floor, 28A Rodney Street, Liverpool, L1 2TQ Tel: 0151 708 9708 Fax: 0151 708 9709 studio@triangle-architects.ltd.uk www.triangle-architects.ltd.uk</p>	Drawn: MM	Project/Drawing No. 14-009/13	Rev.
					Checked: BPM		



Front Elevation 1 Corner Block Variant



Front Elevation 2 Corner Block Variant



Plot 37 Corner Window Variant



Plot 37 Corner Window Variant

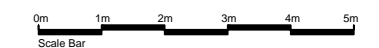
Rear Elevation Corner Block Variant



Side Elevation Corner Block Variant

Proposed Facing Materials

- 1: Buff brick
- 2: Contrasting brick
- 3: Marley Eternit Cedral weatherboard cladding
- 4: Concrete Marley Eternit Edgemere roof tiles (or similar)
- 5: uPVC grey windows/ fascia/ soffits (RAL 7016)
- 6: Metal cladding to canopy
- 7: Timber composite entrance door
- 8: uPVC grey glazed door (RAL 7016)
- 9: Opaque look-alike glazing panel.
- 10: uPVC rainwater goods (black RAL 9005)
- 11: External Lighting - photoelectric (dawn-to-dusk) cell with manual override to all entrances



PLANNING

Rev:	Date:	By:	Remarks:	Client: Great Places Housing Group	Project: New Church Street, Radcliffe	Scale: 1:100 @ A3	Description: Type B Elevations - Corner
				<p>Manchester office: Raven House, 113 Fairfield Street, Manchester, M12 6EL. Tel: 0161 272 3500 Fax: 0161 272 3501 Liverpool office: Lower Ground Floor, 28A Rodney Street, Liverpool, L1 2TQ. Tel: 0151 708 9708 Fax: 0151 708 9709 studio@triangle-architects.ltd.uk www.triangle-architects.ltd.uk</p>	Date: Dec 2015 Drawn: MM Checked: BPM	Project/Drawing No. 14-009/14 Rev.	

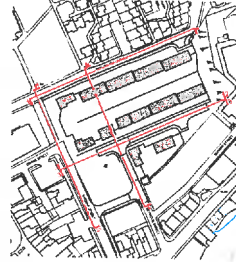
NOTES
 ● THE CONTRACTOR IS RESPONSIBLE FOR CHECKING DIMENSIONS, TOLERANCES & REFERENCES. ANY DISCREPANCY TO BE ADVISED WITH THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
 ● WHERE AN ITEM IS COVERED BY DRAWINGS OF DIFFERENT SCALES, THE LARGER SCALE DRAWING TO BE WORKED TO, DO NOT SCALE FROM THE DRAWING. FIGURED DIMENSIONS TO BE WORKED TO IN ALL CASES.
 ● THIS DRAWING TO BE READ IN CONJUNCTION WITH



Street Elevation 1 - Fronting New Church Street



Street Elevation 2 - Fronting New Road (Facing North)



Rev	Date	By
Client		
Great Places		
Project		
New Church Street Development Radcliffe		
Description		
Street Elevations Sheet 1		
Purpose of Issue		
Planning		
Drawn by:	Checked by:	Scale:
MM	BPM	1:200 @ A1
Date:	Project No:	Drawing No./ Rev:
Dec 2015	14-009	20

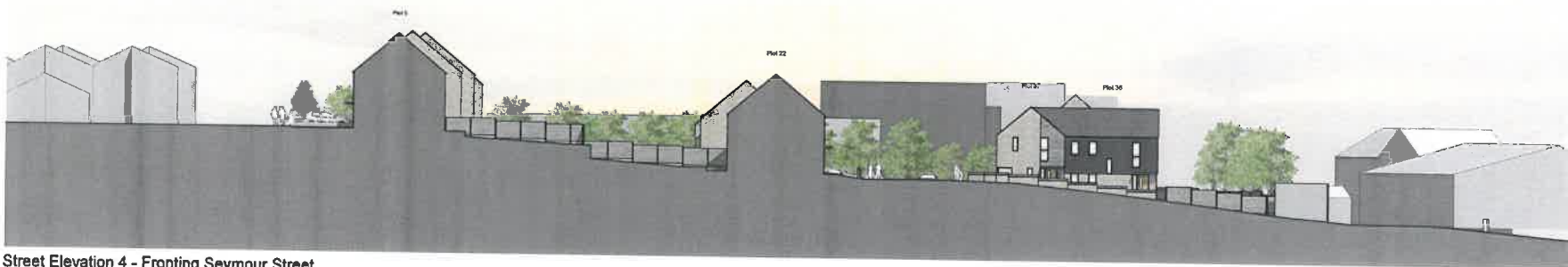


NOTES

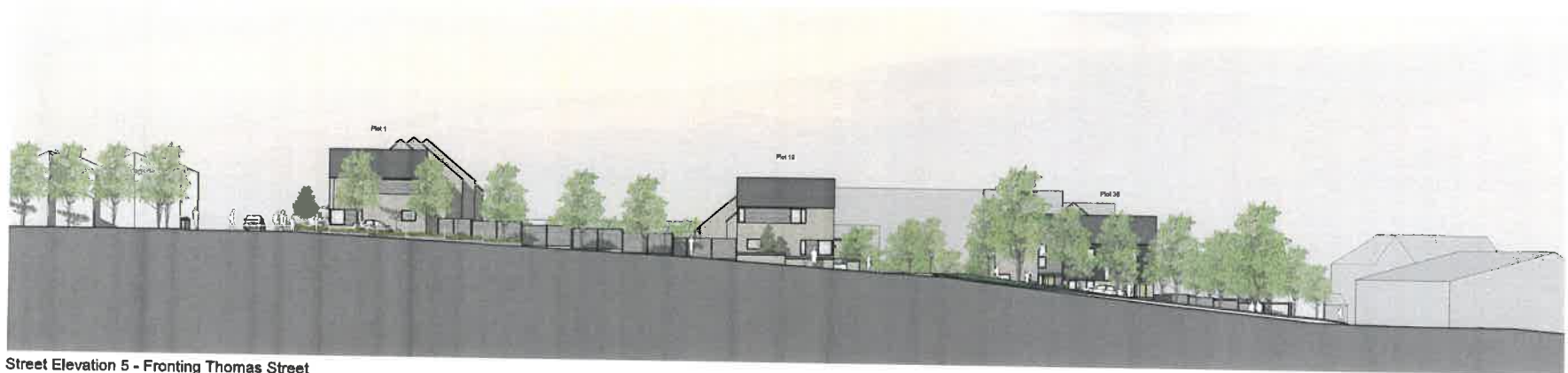
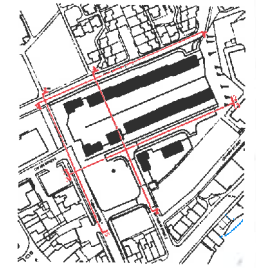
- THE CONTRACTOR IS RESPONSIBLE FOR CHECKING DIMENSIONS TO GRANCES & REFERENCES. ANY DISCREPANCY TO BE ADVISED WITH THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- WHERE AN AREA IS COVERED BY DRAWINGS OF DIFFERENT SCALES, THE LARGER SCALE DRAWING TO BE WORKED TO.
- DO NOT SCALE FROM THE DRAWING. FIGURED DIMENSIONS TO BE WORKED TO IN ALL CASES.
- THIS DRAWING TO BE READ IN CONJUNCTION WITH



Street Elevation 3 - Fronting New Road (Facing South)



Street Elevation 4 - Fronting Seymour Street



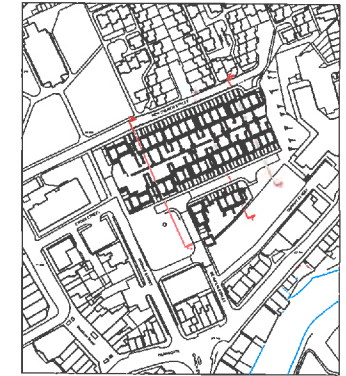
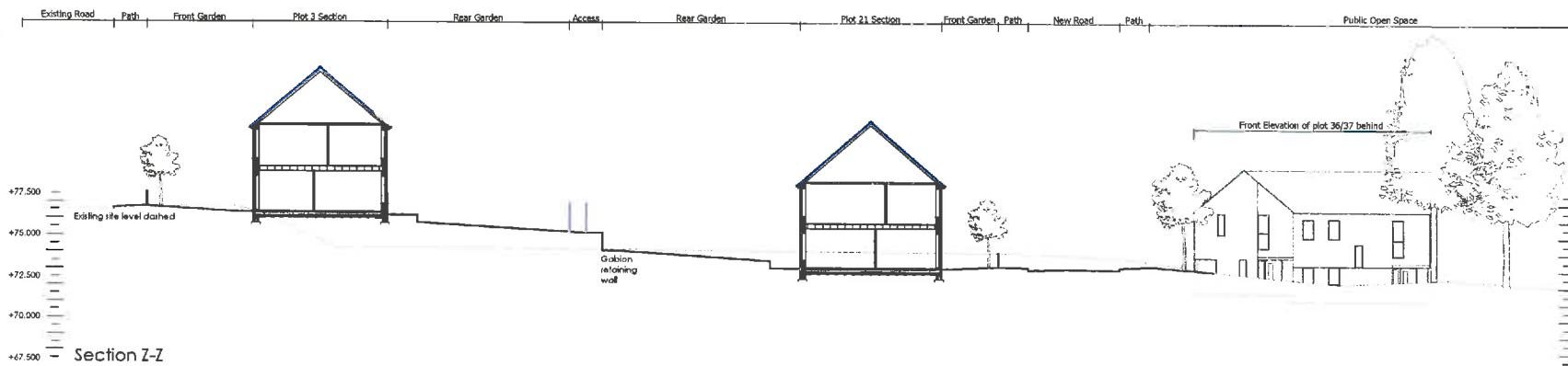
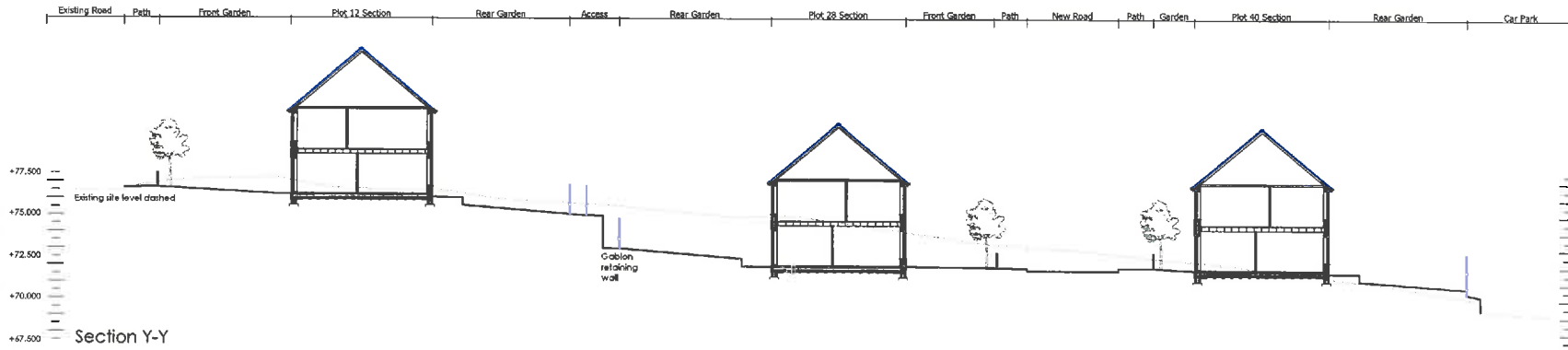
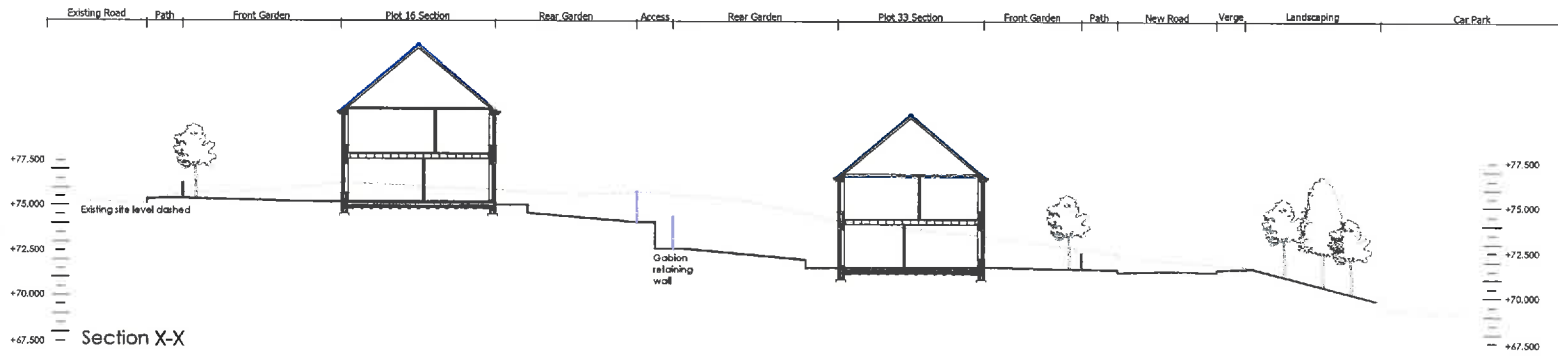
Street Elevation 5 - Fronting Thomas Street

Rev	Date	By
Client		
Great Places		
Project		
New Church Street Development Redcliffe		
Description		
Street Elevations Sheet 2		
Purpose of issue		
Planning		
Drawn by	Checked by	Scale
MM	BPM	1:200 @ A1
Date	Project No.	Drawing No Rev
Dec 2015	14-009	21



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 - WHERE AN ITEM IS COVERED BY DRAWINGS OF DIFFERENT SCALES, THE LARGER SCALE DRAWING TO BE WORKED TO, DO NOT SCALE FROM THE DRAWING. FIGURED DIMENSIONS
 - TO BE WORKED TO IN ALL CASES.
 - THIS DRAWING TO BE READ IN CONJUNCTION WITH:



KEY

Rev	Date	By

Client: Great Places

Project: New Church Street Development Radcliffe

Description: Indicative Site Sections

Purpose of issue: Planning

Drawn by: BPM Checked by: MRT Scale: 1.200@A2

Date: Dec 2015 Project No: 14-009 Drawing No: 04 Rev:

Drawn by:	Checked by:	Scale:
BPM	MRT	1.200@A2
Date:	Project No:	Drawing No: Rev:
Dec 2015	14-009	04



Triangle Architects, Park House, 112 Park Road, Huddersfield, West Yorkshire, HD7 7JL. Tel: 01484 272300. Fax: 01484 272301. info@trianglearchitects.co.uk www.trianglearchitects.co.uk www.trianglearchitects.co.uk